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# Near North/Fall Creek Plan

93-CPS-R-7

UPP 301

Prepared by:

**Department of Metropolitan Development  
Planning Division  
Indianapolis-Marion County, Indiana**

Prepared with:

**Near North Development Corporation**

October 20, 1993



*Interstate 65, Near North Industrial Park, Methodist Hospital, North Meridian Street*

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\* Table 7 presents 1991 crime data in Near North/Fall Creek. Table 8 presents 1991 crime data for a larger area which includes NearNorth/Fall Creek.

Crime Category	1991 Total
Murder	1
Rape	21
Attempted Rape	4
Attempted Strong-arm Robbery	3
Attempted Armed Robbery	14
Armed Robbery	54
Strong-arm Robbery	28
Assaults	263
Resident Burglary	120
Business Burglary	49
Attempted Residence Burglary	16
Attempted Business Burglary	4
Attempted Larceny	12
Larceny	1
Larceny over \$200	142
Larceny \$50-\$200	115
Larceny under \$50	222
Attempted Stolen Vehicle	32
Stolen Vehicle	191
Recovered Stolen Vehicle	108
Confinement	2
Sodomy	1
Molest Child	7
Indecent Exposure	3
Narcotics Investigation	37
Arson	6
<b>1991 Total</b>	<b>1456</b>

**NEAR NORTH/FALL CREEK  
1991 CRIME\*  
Table 7**

Crime data for the Near North/Fall Creek area is presented in the following tables. Fall Creek is polluted, primarily from the combination sewers that overflow into it during periods of heavy rain. The city is now investigating improvements to remedy this problem.

**ENVIRONMENTAL QUALITY**

**EXISTING CONDITIONS**

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**EXISTING CONDITIONS**

**TRANSPORTATION**

Near North/Fall Creek's portion of the city's existing major street system consists of primary arterials (the primary surface streets which can carry larger traffic volumes over longer distances within the metropolitan area), secondary arterials (important streets in the street network which carry slightly less heavy traffic volumes over shorter distances), and collector streets (streets which link the small local streets, such as residential streets, to the arterial streets and streets which carry traffic within subareas.) The *Official Thoroughfare Plan* (Metropolitan Development Commission, March 6, 1991) identifies the streets and street improvements needed to provide for an adequate major street system.

**MAJOR STREETS**  
**Table 9**

Official	Existing	Classification	Plan
Collector Street	Collector Street	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Collector Street	Collector Street	Primary Arterial	Primary Arterial
Collector Street	Collector Street	Collector Street	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Collector Street	Collector Street	Primary Arterial
Primary Arterial	Collector Street	Collector Street	Primary Arterial
Collector Street	Collector Street	Collector Street	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Collector Street	Collector Street	Primary Arterial
Secondary Arterial	Collector Street	Collector Street	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Secondary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Secondary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial
Primary Arterial	Secondary Arterial	Secondary Arterial	Primary Arterial

# EXECUTIVE SUMMARY

## INTRODUCTION

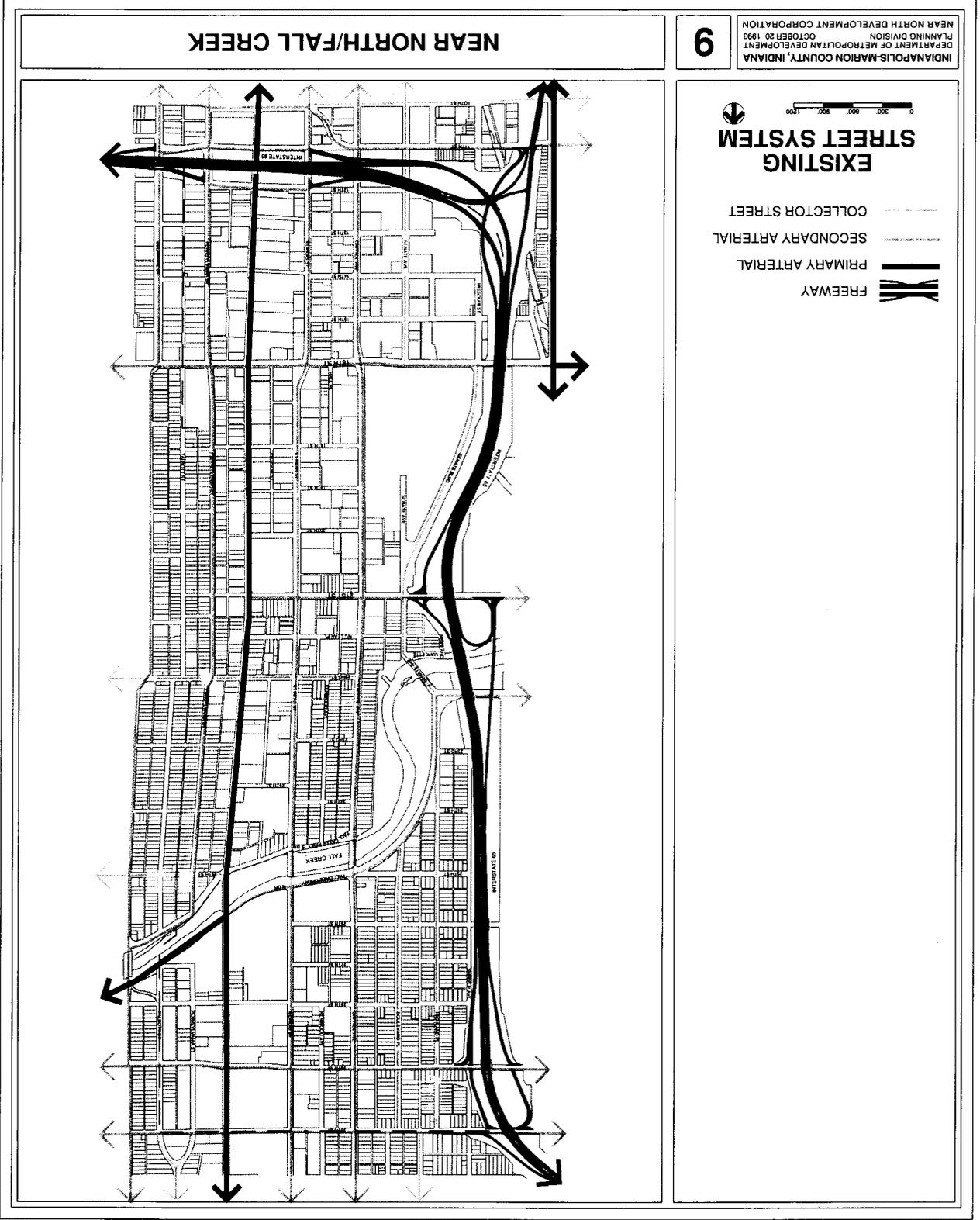
Near North/Fall Creek's boundaries are Interstate 65, 30th Street, Talbott Street, and the alley east of Pennsylvania Street and Talbott Street. This area encompasses five of the seven sub-areas of the lower sections of the North Meridian Street Corridor (Sections Two through Five along Meridian from Interstate 65 to 30th Street, and the western portion of the area, Section Seven) identified by Near North Development Corporation. Near North and the Indianapolis Planning Division prepared the 1982 plan for Sections One through Five (Section One is the portion of the Meridian Corridor from New York Street to I65), the *North Meridian Corridor Development Plan*, and assisted in the 1983 zoning ordinance amendment for that area to the Regional Center Secondary Zoning Ordinance.

The RC Ordinance is an overlay ordinance that subjects any new use or improvement to the approval of the Metropolitan Development Commission. The original RC district is the Regional Center (Section One of the Meridian Corridor is within the north central portion of the Regional Center). The 1983 amendment includes, for Sections One through Five, prohibitions on certain uses and requirements for additional development standards.

The MDC also has established the Near North Industrial Park Redevelopment District for the area generally bounded by Methodist Hospital, Illinois, and I65 which is directed to assisting expansion by Methodist and area businesses and attracting new medical technology research and development businesses. There are also two historic districts, Herron-Morton Place and the Old Northside, that touch the southeast portion of Near North/Fall Creek and have been given additional protection by the MDC and the Indianapolis Historic Preservation Commission as local historic areas.

Near North/Fall Creek is within parts of six larger neighborhoods (Citizens Neighborhood Coalition, Crown Hill, Mapleton-Fall Creek, Midtown Economic Development and Industrial Corporation, Near North Development Corporation, and the United Northwest Area). Meridian-Highland and Highland Vicinity are within the study area.

Citizens, Crown Hill, Mapleton-Fall Creek, UNWA, Herron-Morton, and the Old Northside have had plans prepared for their areas. There is an adopted plan for the Methodist Hospital vicinity, and as mentioned, the *North Meridian Corridor Development Plan* for the Meridian Street Corridor. Meridian-Highland is within the area of the Methodist vicinity plan; Highland Vicinity is within the area of the Crown Hill plan. The Near North Industrial Park Redevelopment Plan guides renewal for the industrial area. The recommendations of all these plans have been incorporated into this study.



NEAR NORTH/FALL CREEK

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INDIANAPOLIS-MARION COUNTY, INDIANA  
 DEPARTMENT OF METROPOLITAN DEVELOPMENT  
 PLANNING DIVISION  
 OCTOBER 20, 1993  
 NEAR NORTH DEVELOPMENT CORPORATION

**EXISTING STREET SYSTEM**

 FREEWAY  
 PRIMARY ARTERIAL  
 SECONDARY ARTERIAL  
 COLLECTOR STREET

EXISTING CONDITIONS

**Planning Process:**

The Planning Division began working with Near North on the Near North/Fall Creek Plan in 1992. A Steering Committee was established; its membership includes representatives of area institutions, residents and neighborhood organizations, businesses, Near North Development Corporation, and other area organizations.

Data collected and analyzed included history, land use, building conditions (for Highland Vicinity and Meridian-Highland), transportation, appearance issues, and socioeconomic conditions. A set of goal statements was developed. Recommendations for proper land use, zoning, and improvements needed to attain the goals were developed. The possible resources to implement the recommendations were then identified.

**ASSETS AND LIABILITIES**

Planning staff and Near North conducted two opinion surveys in the area. The first was a survey of Highland Vicinity and Meridian-Highland residents distributed at neighborhood meetings. Residents ranked increased housing rehabilitation and housing construction including affordable housing as their highest concern, followed by crime, environmental problems including trash and weed lots, commercial revitalization and new commercial services; street, curb, and sidewalk repair; improper land use patterns, improper zoning, economic and racial integration at the neighborhood level, schools, commuter traffic and street widening projects in neighborhoods, rental properties not kept up, and day care.

The second survey was mailed to area employers. Two important findings of this survey cover projects and regulations/services that employers are interested in obtaining for the area. The projects that employers would like to see developed, by order of interest, are the following: remove or maintain vacant buildings and property, attract new development, provide street landscaping, improve streets and sidewalks, develop new parks and open space, improve street lighting, improve vehicular circulation, improve sewers, provide assistance with site and facility expansion, and provide additional parking.

The regulations and/or services employers want, by order of interest, are the following: protect property from theft and vandalism, improve personal safety, reduce property taxes, require high quality standards for new development, inform the public about area services and programs, maintain existing parks and open space, clean streets more frequently, encourage improved landscaping of parking lots, and reduce advertising signs.

Analysis of the existing conditions and the information obtained in the two surveys provided the assets and liabilities. Review of the assets and liabilities then permitted development of the goal statements that follow.

The area can be subdivided into a number of identifiable districts. Preeminent among these are the office districts along Meridian south of 20th Street and north of 27th Street, Methodist Hospital and its related areas, the apartment area along 16th Street and south of Pennsylvania, the single-family districts of Highland Vicinity and Meridian-Highland, and the industrial district south of 15th Street and west of Illinois.

Parts of all streets in fact suffer from disjointed development patterns. A number of uses are sited only in relation to the street and the automobile, with no relation to their neighbors or the larger corridor resulting in a chaotic look to some areas. 16th Street, for example, though much of the area is characterized by a number of uses each independent of each other in layout and little sense of continuity for the area.

There are numerous attractive views along Meridian Street, Fall Creek, Pennsylvania Street, and Interstate 65 to these specific landmarks and to their general areas. These are at times, however, tempered by certain deteriorated conditions or conditions inappropriate to area characteristics. Illinois Street south of 20th Street, and Pennsylvania Street north of 18th Street, for example, have changed greatly, as their function has gone from residential to that in support of primary uses on Meridian Street. Vacant land and underused buildings along portions of Illinois and Meridian between 21st and Fall Creek and in the industrial district south of 15th Street portray negative images.

The portion of Pennsylvania Street along the west edge of the historic districts of Herron-Morton and the Old Northside also has a generally positive image. Methodist has been improving its boundary streets including landscaping along I65. Fall Creek Parkway is also a scenic drive as well as acting as a boundary to area districts. Other arterial streets are important because of the amount of traffic they carry and because they serve as connectors to other area destinations.

Many of the businesses and institutions north of Fall Creek are on generous grounds with extensive landscaping giving this portion of the area an appearance similar to the high quality areas of Section Six further to the north. The older area south of 20th Street where many buildings are sited close together and close to the street is an extension of downtown and its more urban setting. High-rise apartment buildings, some also historically significant, scattered along Meridian Street also help the street's image.

The corridor imparts a generally positive physical impression. Meridian is the most significant and identifiable street with numerous architecturally and historically important buildings and several major institutions. These institutions are well-known throughout the city and include Ivy Tech, the Catholic Center, and SS. Peter and Paul Cathedral; and institutions along close-by stretches of Meridian such as the Children's Museum. Other institutions such as Methodist and Herron often are accessed from Meridian.

**APPEARANCE**

**EXISTING CONDITIONS**

## RECOMMENDATIONS

The recommendations for Commercial, Residential, Public and Semi-Public, Parks and Open Space, Industrial, and Research and Technology are interrelated in the Land Use Plan.

Major activity areas will continue to function similar to their current roles. Meridian, 16th, 21st, 22nd, and the vicinity of Methodist will continue to be developed predominately by non-residential uses that relate to Methodist and the area's adjacency to downtown and I65. Meridian will develop a stronger role as an office-apartment district. Development along 16th, 21st, and 22nd will be intensified through the implementation of mixed-use projects, and individual buildings interrelated with each other through the application of appropriate design guidelines. A renewed retail area at Meridian, 21st, and 22nd will increase services for residents and visitors. Housing areas will be revitalized, and their edges with other use districts stabilized, so that non-residential intrusions are minimized. The Near North Industrial Park will see an expanded role in support of Methodist and in medical technology in support of both Methodist and nearby IU hospitals.

In the following are the principal recommendations of the Plan. Following the recommendations of the Land Use Plan are the Transportation Recommendations which are directed to supporting the major street system while helping to reduce the impacts of non-local traffic on residential areas. Lastly are the Appearance Recommendations, which are focused on helping improve the area's physical form and appearance, including the potentials that can be realized for protecting and enhancing its unique character.

### COMMERCIAL RECOMMENDATIONS:

Areas south of Fall Creek that are proposed for office or commercial retail/service in the Plan show where these respective uses should be permitted but should also permit other associated uses. Office use areas south of Fall Creek also should permit retail or service integrated with office and higher density housing. Retail/service areas south of Fall Creek also should permit office and higher density housing to help intensify the use of land.

- 1.) Investigate with Near North the potentials for a private or a city redevelopment district or districts midpoint along Meridian Street, generally between 21st and Fall Creek, to facilitate renewal in that portion of Near North/Fall Creek. This district could be a part of or in addition to a district for a commercial center at 21st, 22nd, and Meridian as proposed in Commercial Recommendation 3.
- 2.) Promote the redevelopment of underused sections of Meridian Street properties for quality office and office/apartment complexes as a means of bolstering the image of this important street. As a step in accomplishing this, the city should investigate with Near North the potentials for larger scale private development projects with potential

*New Infill Housing in Meridian-Highland*



Meridian-Highland's housing that needs rehabilitation up to sound condition. This would be accomplished by Near North in concert with other organizations, such as private developers, area businesses, and area institutions, through an expanded role and staffing for Near North, and additional funding from government, institutions, and the private sector.

To accomplish this higher level of rehab and construction, Near North's capacity should be expanded, with government assistance, so it can rehab approximately five structures per year and assist in approximately five paint-up/fix-up type projects per year for Meridian-Highland and rehab approximately ten structures per year and assist in approximately ten paint-up/fix-up type projects per year in Highland Vicinity, a total of about fifteen rehab projects and fifteen paint-up/fix-up projects per year for the next five years and approximately seventy-five rehabs and seventy-five paint-up/fix-ups in the five year period.

Near North, over the next ten year period, should construct or help sponsor approximately 130 units of new housing. This new housing should be compatible in density and appearance with surrounding existing housing. The city should assist Near North in acquiring and preparing appropriate sites for new housing.

Thirty units should be single-family or duplex units scattered throughout the two neighborhoods on vacant lots or properties of non-residential uses that should be purchased (and the uses relocated out of residential areas). In Highland Vicinity there is land available for approximately twenty units, and in Meridian-Highland for approximately ten units. This infill housing should be predominantly owner-occupied.

The remaining 100 units should be multi-family. In Highland Vicinity, this potentially would be composed of forty apartment units, possibly for older residents, on the block face of Capitol west of Weyerbacher Terrace (This site is also shown as a possible site for a neighborhood commercial center by Near North Development Corporation in Commercial Recommendation 5 with feasibility to be determined by further study by Near North, apartment development being an appropriate reuse if the recommended commercial reuse cannot be attained), and a thirty unit apartment complex on the vacant land bounded by I65, Fall Creek, and 23rd Street. In Meridian-Highland, this potentially would consist of a thirty elderly unit addition to Kenwood Place south of the south building.

- 4.) As a further means of helping speed and expand rehab efforts in Highland Vicinity and Meridian-Highland, Near North should create an Adopt-A-Block program similar to that developed in Mapleton-Fall Creek, with assistance from area institutions and businesses.

The objectives for this program would be to accomplish about two-thirds the overall rehab and paint-up/fix-up efforts of Near North over the next five year period, by rehabbing approximately fifteen units in Meridian-Highland and thirty-five units in Highland Vicinity and accomplishing fifteen paint-up/fix-up projects in Meridian-Highland and thirty-five projects in Highland Vicinity. These objectives could be achieved either by direct rehab projects by the Adopt-A-Block participants,

HIGHLAND VICINITY  
and  
MERIDIAN-HIGHLAND  
NEIGHBORHOODS  
PROBLEMS/ISSUES SURVEY  
Table 10

Mean Score	Rank
3.15	1
4.45	2
4.62	3
4.98	4
6.13	5
6.63	6
7.29	7
7.75	8
7.84	9
8.68	10
9.13	11
9.62	12
10.73	13

1 Housing rehabilitation and housing construction including affordable housing  
 2 Crime  
 3 Environmental problems including trash and weed lots  
 4 Commercial revitalization and new commercial services  
 5 Street, curb, and sidewalk repair  
 6 Land use patterns including land uses not compatible with neighborhoods  
 7 Other ~~Too many rental properties~~  
 8 Zoning including zoning for nonresidential uses and improper densities for residential districts  
 9 Economic and racial integration at the neighborhood level  
 10 Schools  
 11 Thoroughfares including commuter traffic and street widening projects and new thoroughfares into neighborhoods  
 12 Other ~~Rental properties not kept up~~  
 13 Day care

ADDITIONAL COMMENTS:

Need a grocery store  
 Need a library

Need Methodist Hospital to build more parking garages

**INDUSTRIAL RECOMMENDATIONS:**

- 1.) Support relocation of industrial and commercial-industrial uses to the Near North Industrial Park.
- 2.) Support relocation of any other area industrial establishments which can not be relocated into the Near North Industrial Park to other appropriate industrial districts in Center Township.

**RESEARCH AND TECHNOLOGY RECOMMENDATIONS:**

- 1.) Support development of a strategy to identify and attract to the Near North Industrial Park, research and technology uses that would relate to area hospitals and medical facilities.
- 2.) Assemble and prepare sites in the Near North Industrial Park to assist research and technology firms to locate in the area.

**TRANSPORTATION RECOMMENDATIONS:**

- 1.) Investigate the potential to downgrade Highland and Boulevard to local street status.
- 2.) Investigate ways to discourage non-local traffic off the alley west of Boulevard south of 30th Street.
- 3.) Request an alignment study for the proposed 21st/22nd Streets Connector. The Official Thoroughfare Plan recommends a new street to connect 21st and 22nd Streets between Senate and Illinois. This new street connection is given a "D" priority in the Official Thoroughfare Plan which is the lowest priority assigned. The City at this time does not have any construction schedule for this particular street segment nor does it have any such plans for the foreseeable future. (The long range transportation plan for the Indianapolis Metropolitan Planning Area is currently being updated which will result in a review and reevaluation of the proposals of the Official Thoroughfare Plan including the proposed 21st/22nd Connector. The update of the long range plan will be completed in the next eighteen to twenty-four months and will include considerable public involvement.)  
The 21st/22nd Connector, if constructed west of Illinois Street, would cause significant disruption to Meridian-Highland Neighborhood. If further study demonstrates the continued need for this connection, its location and design should be determined so as to minimize disruption to the residential area. Near North Development Corporation has requested that the 21st/22nd Connector be considered for removal from the Official Thoroughfare Plan.
- 4.) Develop a landscape buffer between I65 and Highland Vicinity Neighborhood.

**ASSETS AND LIABILITIES**

C. The regulations and/or services that employers would like to see, by order of importance, are the following:

- |    |   |
|----|---|
| 42 | 1. Protect property from theft and vandalism          |
| 36 | 2. Improve personal safety                            |
| 28 | 3. Reduce property taxes                              |
| 26 | 4. Require high quality standards for new development |
| 15 | 5. Inform the public about area services and programs |
| 14 | 6. Maintain existing parks and open space             |
| 9  | 7. Clean streets more frequently                      |
| 8  | 8. Encourage improved landscaping of parking lots     |
| 7  | 9. Reduce advertising signs in area                   |
|    | Other: Increase economic development                  |

D. New development in the area that employers would like to see, by order of importance, is the following:

- |    |  |
|----|--|
| 34 | 1. Primarily be office type operations   |
| 31 | 2. Provide more restaurants, shops, etc.   |
| 19 | 3. Primarily be service type operations  |
| 14 | 4. Primarily be research and technology  |
| 13 | 5. Primarily be health related   |
| 11 | 6. Primarily be social service related   |
| 11 | 6. Primarily be media related  |
| 6  | 8. Primarily be suppliers  |
| 3  | 9. Primarily be industrial operations  |
| 2  | 10. Bring in operations similar to my own  |
|    | Others: General retail/supermarket, housing, hotel, day care, fitness facilities |

Following is other selected data obtained from the survey. (Complete survey results are in Appendix C.)

Year moved to present site 1967. Year located in the city 1940. (Averages)  
 Own building/facility 80.8%. Sole building/facility occupant 71.4%.

Locally owned and operated 92.3%.  
 Average number of employees at this site: 65 (not including Methodist Hospital).

## IMPLEMENTATION

### REZONING:

A number of Near North/Fall Creek properties need to be rezoned. Any rezonings should be in support of the Land Use Plan. Several uses are long-standing and have shown to be appropriate for their areas, but have never been properly zoned. Rezoning to their appropriate zoning classification will facilitate future improvements or expansion. Generally, these situations fit within two categories: institutional uses and higher intensity Meridian Street office uses.

Other areas may benefit by rezoning to new zoning classifications as one means to help assist redevelopment. An example of such an area is the recommended office area on Meridian between 24th and Fall Creek. Rezoning this area to C2 would help facilitate its future development for offices or offices/apartments.

### DESIGN GUIDELINES:

An important implementation tool to assist the continuing revitalization of the North Meridian Street Corridor is the Regional Center Zoning Ordinance. This ordinance provides the MDC with broad authority over permitted uses and the appearance of development in the corridor. The RC Ordinance should be consulted together with the Design Guidelines beginning on Page 92 of the full report for any new development or renovations.

The Design Guidelines are further recommendations for development in the corridor's RC district and the vicinity of Methodist Hospital that should be used in any building or site renovation or new development. The guidelines would add to the development standards of the RC Ordinance by incorporating additional amenities for site development and signs, and by incorporating recommendations for building appearance so that new development is appropriate and in keeping with the existing positive aspects of the area's character.

These guidelines do not replace the development standards of the existing zoning ordinances; they do not have the status of city ordinances as do zoning ordinances. Their application is being promoted so that new improvement projects can be tailored to respond specifically to the positive physical characteristics of the area.

## ASSETS AND LIABILITIES

The following assets and liabilities were identified after an analysis of the existing conditions and the information obtained in the two surveys. Review of this listing then permitted development of the goal statements that follow on page 71.

### COMMERCIAL

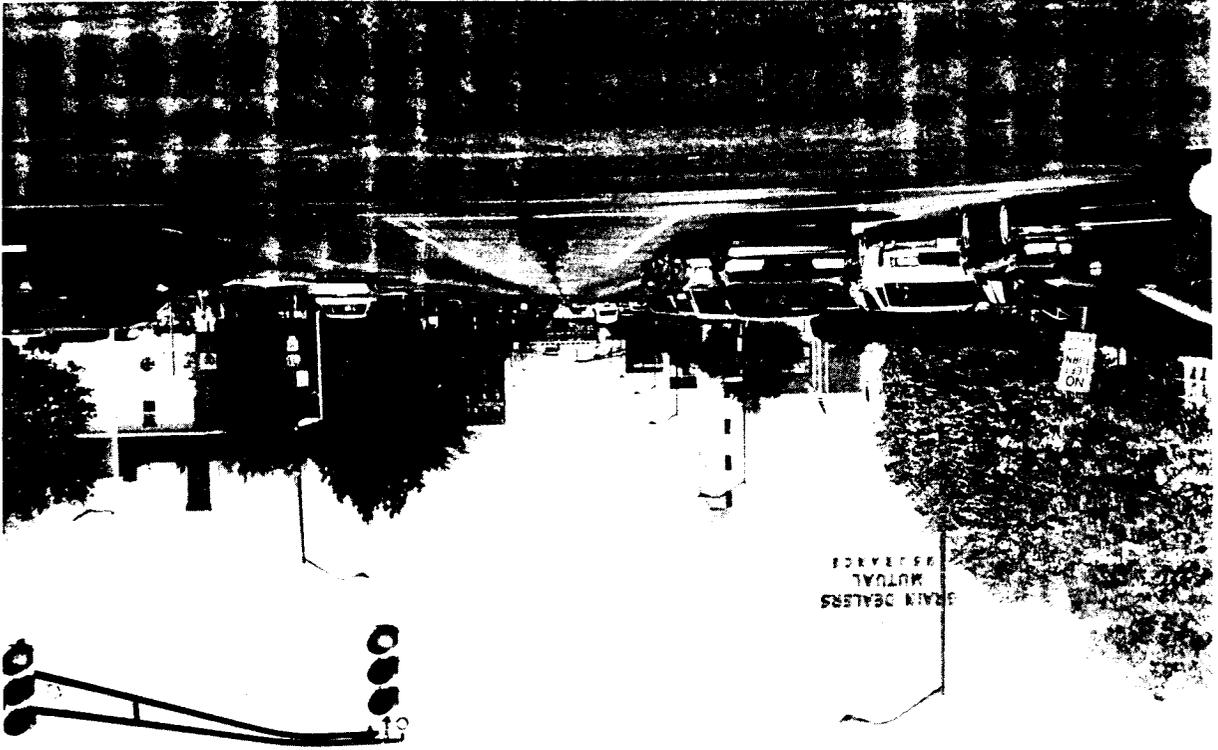
Assets:

- 1.) There are a number of well-established and respected professions and businesses in the corridor including those in medicine and insurance providing services to local and metropolitan area residents.

- 2.) A wide range of business goods and services is available in the area.

- 3.) 16th, 21st, 22nd, 29th, 30th, Fall Creek Parkway, Senate Boulevard, Capitol, Illinois, Meridian, and Pennsylvania provide for high visibility and high traffic volumes. 165 provides quick and convenient access to businesses and institutions to and from throughout the metropolitan area.

- 4.) The corridor's location between downtown and prosperous north side neighborhoods is significant.



Meridian Street at 16th Street looking north

## FOREWORD

Near North/Fall Creek begins approximately one mile north of downtown Indianapolis. Its boundaries are Interstate 65 on the west and south, 30th Street on the north, and Talbott Street and the alley east of Pennsylvania Street and Talbott Street on the east.

This area encompasses five of the seven geographic sub-areas of the lower sections of the North Meridian Street Corridor (Sections Two through Five along North Meridian Street from Interstate 65 to 30th Street, and the western portion of the area, Section Seven) identified by Near North Development Corporation. Near North and the Indianapolis Planning Division prepared the 1982 plan for Sections One through Five, the *North Meridian Corridor Development Plan*, and assisted in the 1983 zoning ordinance amendment for that area to the Regional Center Secondary Zoning Ordinance. (Section One is the portion of the North Meridian Street Corridor from New York Street to I65.)

North of 30th Street to 40th Street is Section Six of the Near North area. It was the subject of the 1986 *North Meridian Street Corridor - Section Six Plan*.

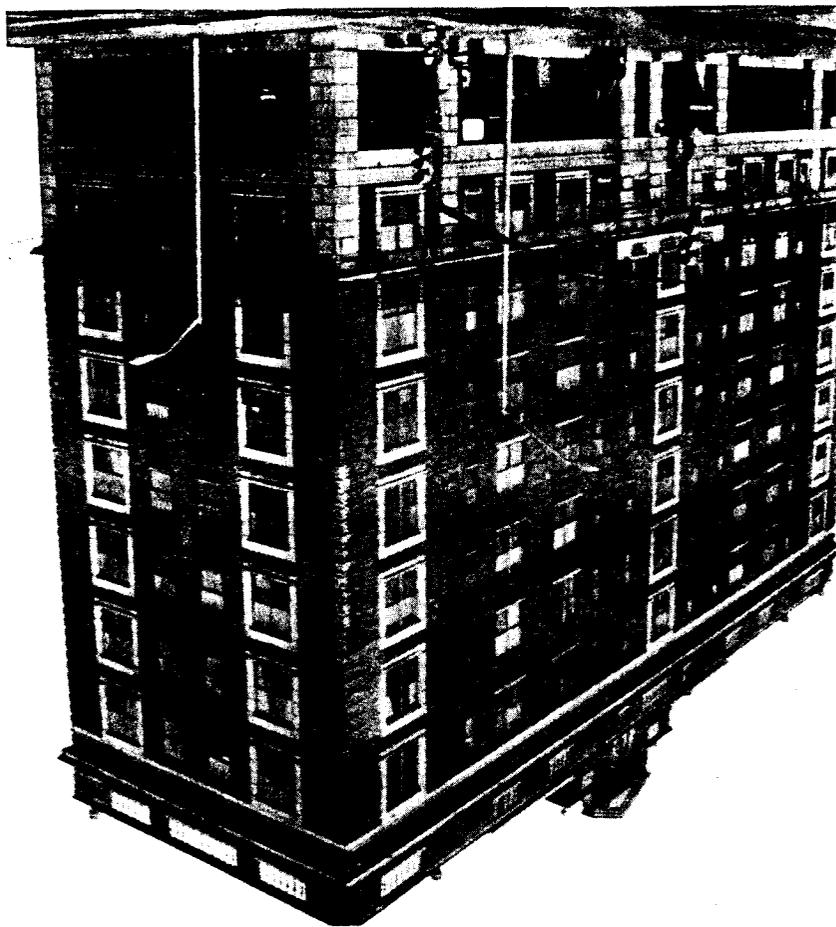


*Fall Creek Corridor looking east from the Meridian Street Bridge*

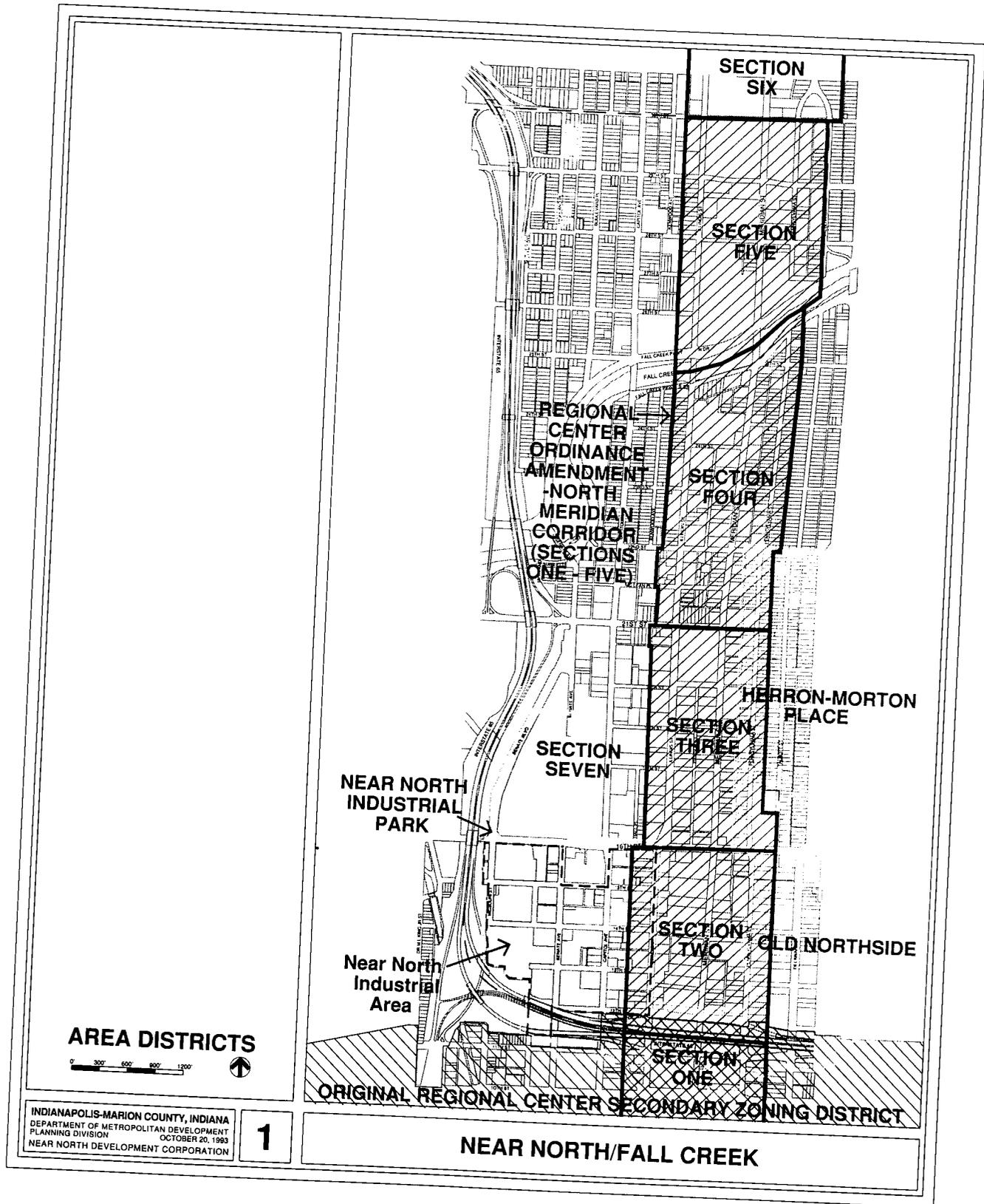
RESIDENTIAL

Assets:

- 1.) The exterior building condition survey for Highland Vicinity and Meridian-Highland shows 61.5 percent of housing is in standard condition or suffering only from minor deterioration (65.3 percent of single-family and 69.2 percent of apartments).
- 2.) There is a wide availability of housing types in the corridor, from small to large single-family homes and duplexes and from low-rise to high-rise apartments, to provide for a variety of life-styles. Much of the housing is moderately priced and affordable to many.
- 3.) Many people are long-time residents to the area who know each other.
- 4.) Housing areas are close to major employment areas.



*Apartment Building in Herron-Morton*



**PUBLIC AND SEMI-PUBLIC**

**Assets:**

- 1.) Methodist Hospital is a major city institution with extensive health services available. It has completed a number of major improvement projects in recent years and is planning additional projects. It is the major employer in the area. It provides leadership and assistance to efforts directed to the area's improvement.

- 2.) Ivy Tech is an important city educational institution.

- 3.) Near North Development Corporation, Citizens, Mapleton-Fall Creek, Flanner House, and UNWA provide important services for area residents.

- 4.) The Catholic Center provides important services throughout the area and to corridor residents.

- 5.) Fire Stations 5 and 14 are located in the area.

- 6.) The Mapleton Post Office is adjacent to the area.

- 7.) The vacant Sheraton Meridian at 28th and Meridian has recently purchased by the Institute in Basic Life Principles for the institute's apprenticeship programs for youth.

- 8.) Central North Civic Association, North Meridian Business Group, and others assist the area's improvements.

**Liabilities:**

- 1.) Expansion projects by area institutions have displaced residential development.

- 2.) Herron School of Art is planned for relocation to the IUPUI main campus.

**PARKS AND OPEN SPACE**

**Assets:**

- 1.) Barton Park and Talbott Park are located in the area.

- 2.) Fall Creek provides open space for the central portion of the area.

## **INTRODUCTION**

Near North/Fall Creek embodies many of the features of a mixed-use, mid-city area -- physically, economically, and socially. Some areas show evidence of continued strength and stability, others are improving, and others are undergoing deterioration. Other portions exhibit stable land use/development patterns; while others show changes which concern affected property owners and residents.

The area is also very unique, owing to the importance of the North Meridian Street Corridor, the home of a large number of city landmarks and many important institutions, businesses, and families. This part of the corridor has its share of these resources. At its southern end are the Cathedral of Saints Peter and Paul and the Catholic Center. Midpoint is Methodist Hospital, the largest hospital in the state. At the northern end is Indiana Vocational Technical College. Interspersed along this stretch of Meridian also are a number of other prominent city institutions and businesses. Meridian Street also is the city's premier north-south street.

The corridor, however, has experienced threats to its stability and to the overall high character of development. Some areas are characterized by a number of deteriorated buildings and vacant lots. In other areas, some recently constructed buildings have not been designed and sited compatible with the corridor's traditional architectural and developmental character. These buildings have been constructed of nontraditional materials or are without the facade fenestration and details typical for the area; they have not been sited in proper relation with surrounding buildings and have included parking in front yards or improperly screened parking.

Also of concern is the proper future reuse of vacant or underutilized parcels, particularly those that would impact on the character of Meridian and other important streets, on particular institutions, and on residential areas adjacent to Meridian Street.

Those needs: to protect and reinforce the corridor's many positive attributes, and to monitor and influence new development activity, have led to the preparation of the Near North/Fall Creek Plan. This Plan will be an important step in helping to bring to the area an additional level of protection and to help guide new corridor development.

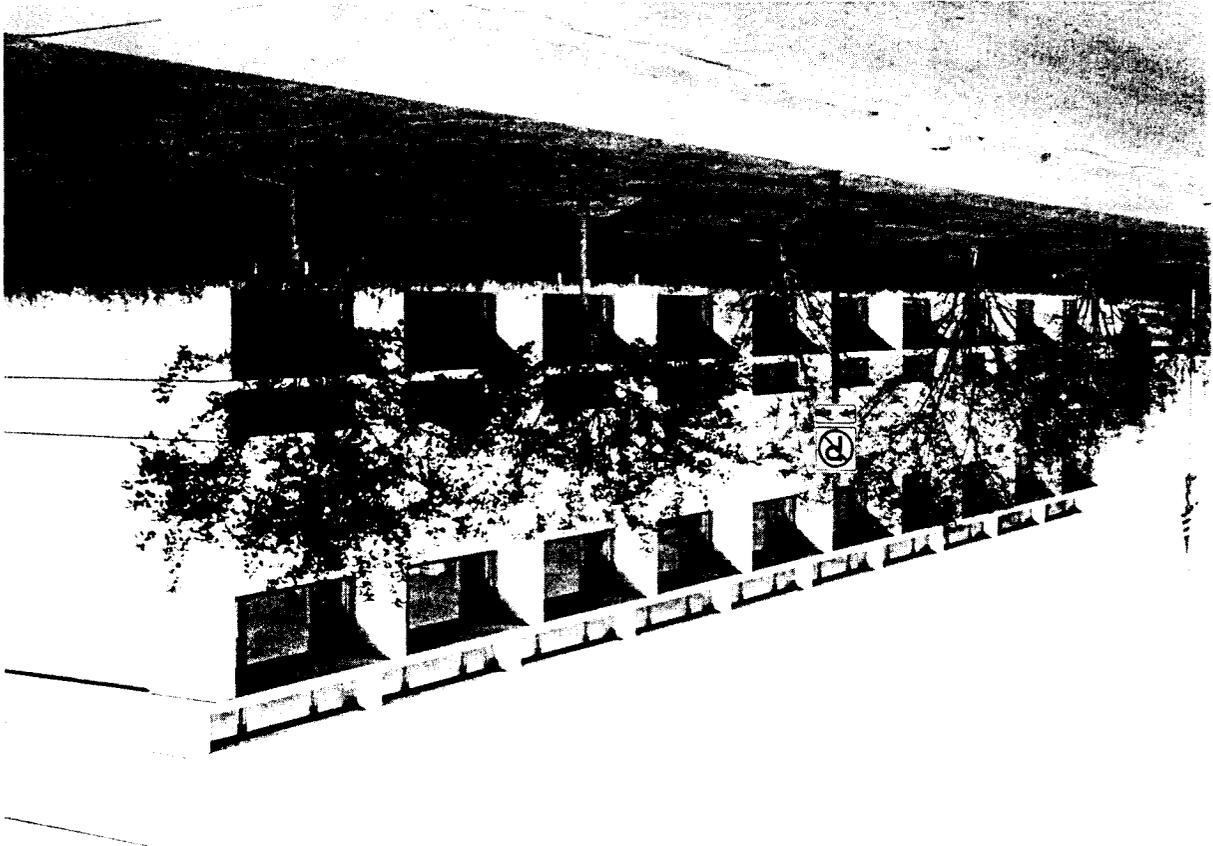
Near North/Fall Creek is situated within parts of six larger neighborhoods (Citizens Neighborhood Coalition, Crown Hill Neighborhood, Mapleton-Fall Creek Neighborhood, Midtown Economic Development and Industrial Corporation, Near North Development Corporation, and the United Northwest Area) and two historic areas (Herron-Morton Place and the Old Northside). Citizens, Crown Hill, Mapleton-Fall Creek, UNWA, Herron-Morton, and the Old Northside have had plans prepared for their areas.

- 1.) A good thoroughfare system provides convenient access to and from other sections of the city. The abundance of major streets gives Near North/Fall Creek high visibility and exposure for area improvements.
- 2.) Interstate 65 provides quick and convenient access to and from all parts of the metropolitan area.
- 3.) Meridian Street is one of the most important streets in the city.
- 4.) The area is well served by bus routes.

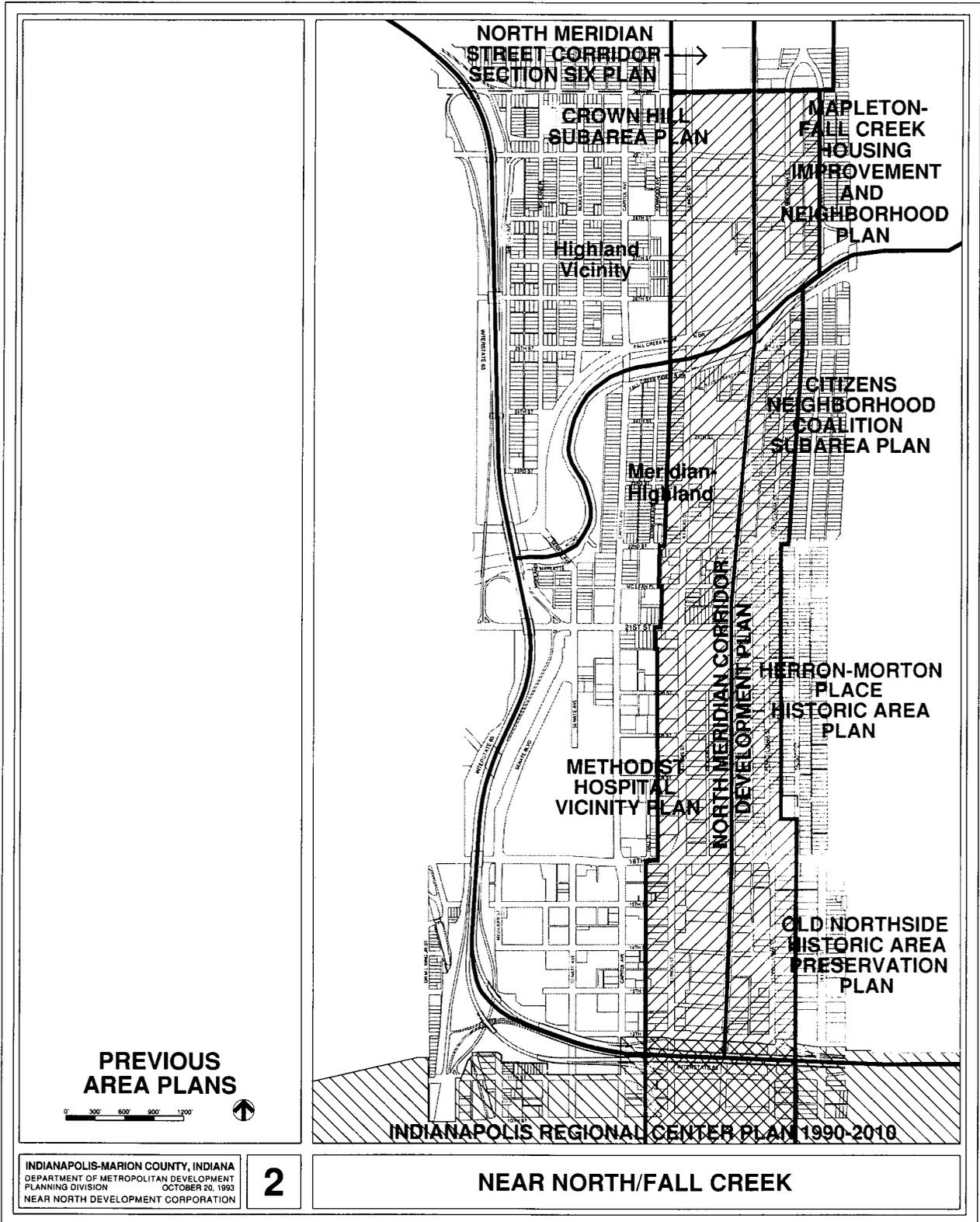
Assets:

### TRANSPORTATION

*Johnson Controls in Near North Industrial Park*



### ASSETS AND LIABILITIES



**APPEARANCE**

**Assets:**

- 1.) Area landmarks provide examples of high-quality design and site development.
- 2.) Office developments, particularly those for headquarters offices, are of high-quality design and site development.
- 3.) Historically significant buildings assist the area's generally positive image.
- 4.) The majority of property owners have constructed small, subdued building signs.
- 5.) The survey of area employers found strong support for requiring high quality standards for new development.
- 6.) Beautification projects by Near North and individual property owners have benefited the area.

**Liabilities:**

- 1.) Billboards are found in the area; they are not appropriate.
- 2.) Pole, projecting, and rooftop signs generally are not appropriate.
- 3.) Deteriorated buildings and obsolete buildings give a negative image to the area.
- 4.) Vacant lots along the major streets also give the area a negative image.
- 5.) Over the past approximately twenty years, a number of inappropriately designed and sited buildings have been constructed in the corridor.
- 6.) Corner lot and front yard parking lots on Meridian detract from its positive image.
- 7.) Some parking lots lack proper landscaping.
- 8.) Chain link and barbed wire fences impart a negative image.
- 9.) The lack of street trees and landscaping in certain areas imparts a negative image and adds to hardships for some housing areas.
- 10.) The combination of negative appearance factors magnifies negative images of the area.

Early development in Herron-Morton included an early home for the Indiana State Fair. The site, bounded by Talbott Street, 21st Street, Central Avenue, and 19th Street was thought to be far enough from the city so as not to interfere with city residents, while close enough to allow easy access. During the Civil War, the fairgrounds was converted to Camp Morton, a prisoner of war camp. To guard the prisoners, Union troops were stationed in an encampment known as Camp Burnside which extended from Camp Morton south to 16th Street. After the war the site was rehabilitated and used again for the State Fair until the fairgrounds was moved in 1890 to its permanent home on 38th Street.

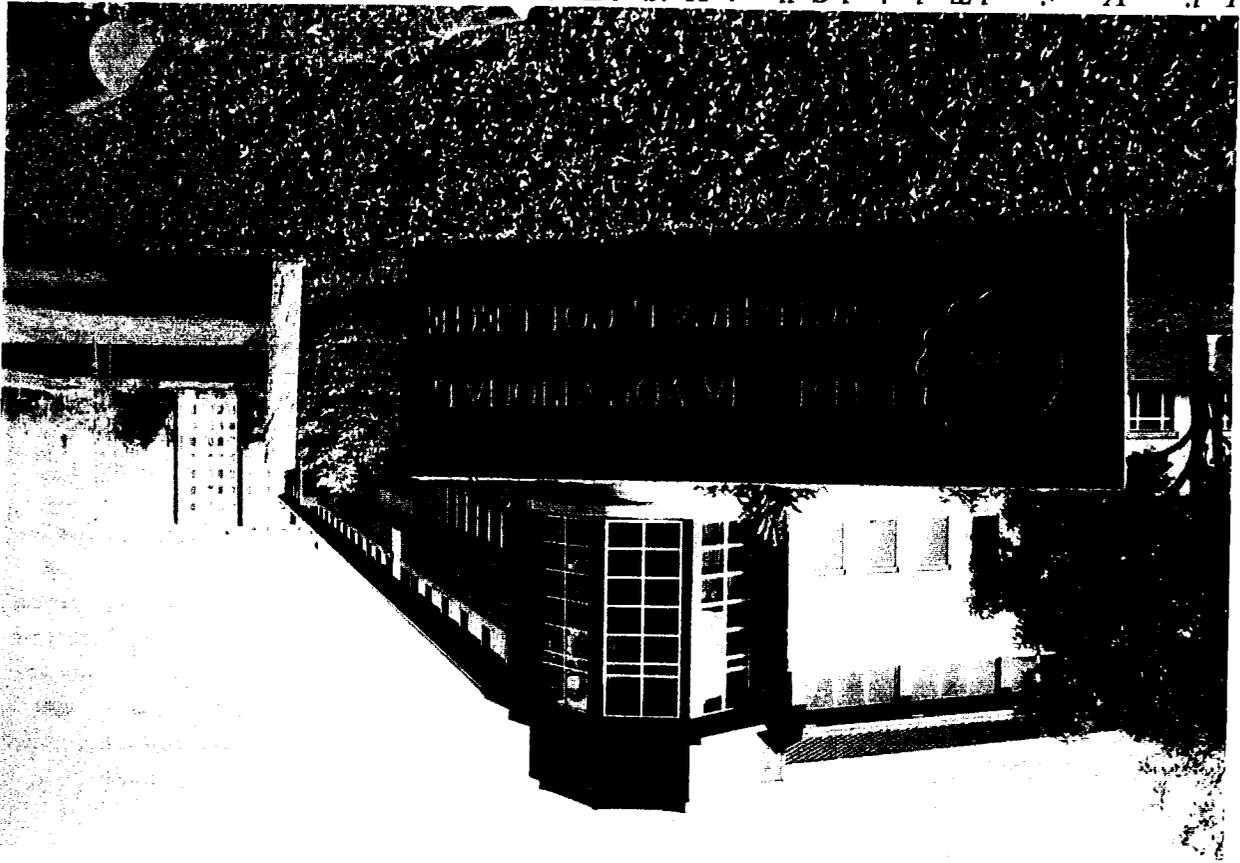
Also after the war, Camp Burnside was purchased and was platted for residential development. Sanborn maps for 1887, the earliest available for the city, show the streets south and west of the fairgrounds already densely developed.

Development continued its northward march so that by the last decade of the century the area south of Fall Creek was largely built out. In 1895, the city's annexation of the land to Fall Creek extended city services to this area.



*House in Old Northside*

*Indiana Vocational Technical College's Unified Technologies Center*



With the city's increasing population, Methodist Hospital saw the need to construct additional buildings. Two new pavilions opened in 1913, increasing patient capacity to 133, and a fourth floor was added to the main building in 1917.

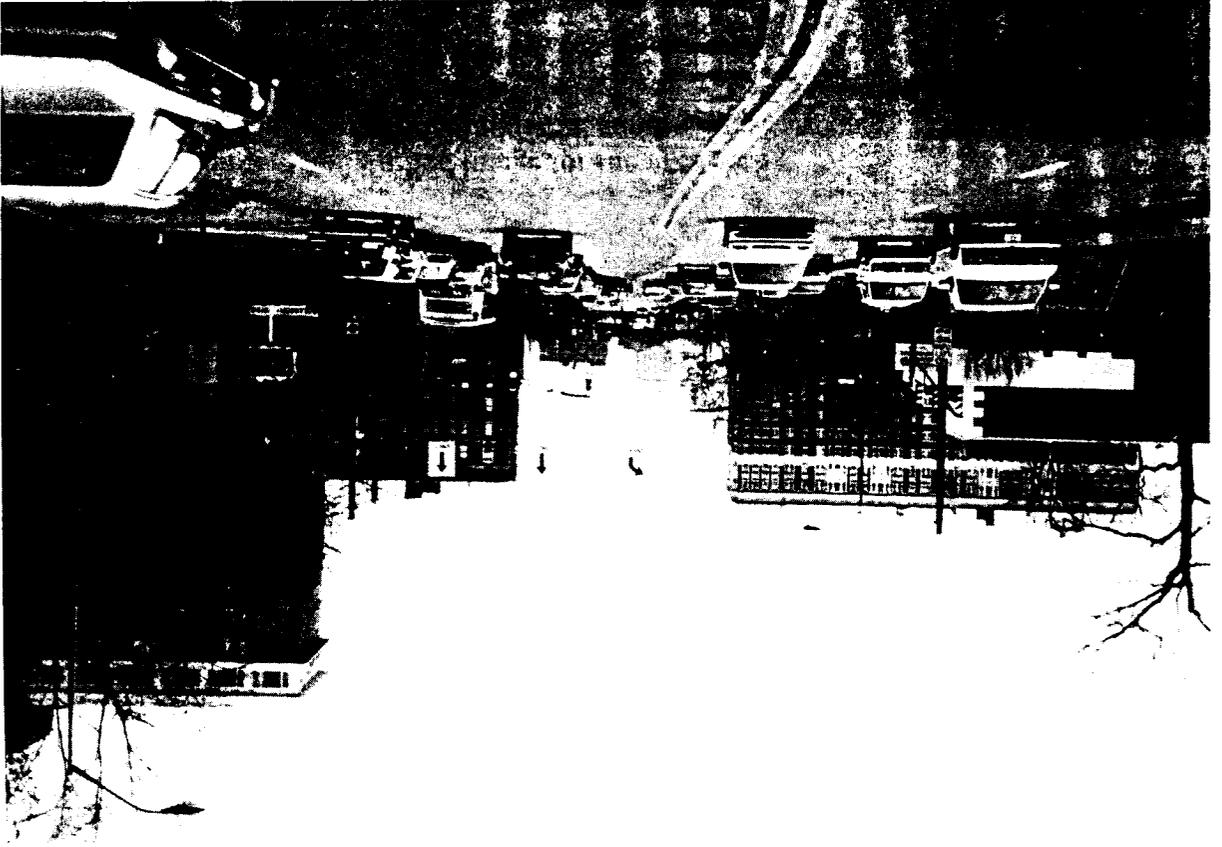
In 1928, Methodist was classed as one of the ten largest hospitals in the country, and with the help of Eli Lilly and Company, it was also one of ten regional hospitals to administer insulin as a treatment for diabetes. By 1930, it was the sixth largest hospital in the United States.

By 1949, Methodist was serving over 22,700 patients annually. Several gifts were given to the hospital in the mid-1960s, making new and better buildings possible, such as Krannert tower which included a nuclear medicine center. A gift given by Nicholas Noyes built the new Children's Pavilion. A \$152 million construction program completed in 1986 provided facilities to house departments for cancer, cardiovascular, eye, neurological, and trauma concerns. Methodist also has one of two emergency helicopter services in the state. The hospital now includes facilities for over 1,100 patients with some 800 doctors and 5,000 employees and covers some fifty acres.



*Methodist Hospital*

*Meridian Street at 30th Street looking toward Downtown*



A number of elegant mansions were built along Meridian Street north of Fall Creek on spacious well-manicured grounds. As opposed to the smaller lot, Victorian era houses south of Fall Creek, these homes were built during the period when the automobile was new and very much a symbol of wealth and status -- reflecting a new freedom and mobility. Each mansion was designed and sited separate from its neighbors and the street, a unique individual work of art. The Louis Levey mansion and the residence of Vice-President Charles Fairbanks are examples of homes of this period.

Along the streets in the Highland Vicinity Neighborhood in the northwestern portion of the area, the predominant housing types constructed were single-family homes and duplexes. These buildings were generally wood frame, one or two story, on tighter lots. They included more modest homes, affordable by those of the middle class who were interested in suburban living but were then still dependent on the transit system.

The early part of this century also was the heyday of fashionable apartment living, and by the "teens" and "twenties" a number of long-time residents of the northside chose to give up the responsibilities of home ownership and move into elegant "flats" in any of the host of apartment buildings built along Meridian and Pennsylvania, a number of them supplanting the original stately Victorian homes.

Perhaps the epitome of refinement in apartment living in the Old Northside was to be found in the Winter Apartments at 1321 Meridian where many inter-war society dowagers took up residence. One other such apartment building was the Marott Hotel at 2625 North Meridian built as a hotel/apartment building by the prominent businessman George Marott who built on his father's already successful shoe business. Recently it has been restored to its former glory for apartments.

As the area continued to develop, the need for additional institutional services increased. The former Saint Vincent Hospital (1911-12, rehabilitated for subsidized housing as Weyerbacher Terrace) at 2534 North Illinois was the most significant such facility north of Fall Creek.

The area south of Fall Creek also saw the founding and development of the Herron School of Art located at 16th and Pennsylvania. It is named after John Herron who left the Indianapolis Art Association \$200,000 to build an art school and museum. The association completed the Art Institute building in 1906 and a classroom/studio addition in 1926. The museum opened to a waiting public; during the first five months over six thousand people attended eight different exhibitions. Herron is now part of Indiana University-Purdue University at Indianapolis. The art school today also occupies the original structure, and the museum has moved to a new location on IUPUI's 38th Street. IUPUI plans to move Herron into a new building on its main campus. The university has completed a reuse study of the present buildings. That study recommended reuse to offices, potentially for

## RECOMMENDATIONS

### COMMERCIAL RECOMMENDATIONS:

Commercial uses are offices, retail, service, and parking lots and garages that support these uses. Areas south of Fall Creek that are proposed for office or commercial retail/service in the Land Use Plan show where these respective uses should be permitted but should also permit other associated uses. Office use areas south of Fall Creek also should permit retail or service integrated with office buildings, and higher density housing. Retail/service areas south of Fall Creek also should permit office and higher density housing to help intensity the use of land in retail areas along 16th and Meridian.

- 1.) Request that the Metropolitan Development Commission and City-County Council revise the development standards of the Regional Center Secondary Zoning Ordinance to include additional standards for the design and siting of new buildings and building additions (relative to building scale and mass, siting, facade treatment, general site development, landscaping, parking, signs, and fencing) so that new development will be compatible with existing. The Design Guidelines in the Implementation Section should be incorporated into any RC Ordinance revision.
- 2.) Support Near North Development Corporation's continuing efforts to encourage existing property owners' voluntary compliance with design standards appropriate to the area and the development standards of the RC Ordinance; and to incorporate in those efforts, voluntary compliance with the proposed Design Guidelines of the Near North/Fall Creek Plan.
- 3.) Encourage commercial property owners to investigate methods to reduce parking space needs through programs such as shared parking, small car parking spaces, and carpooling.

- 4.) Encourage commercial property owners to construct parking garages to make more land available for uses other than parking, especially in the long-term. Parking garages, however, should not visually dominate their surroundings. Above ground parking garages near residential areas should be limited to three levels.
- 5.) Investigate with Near North the potentials for a private or a city redevelopment district or districts midpoint along Meridian Street, generally between 21st and Fall Creek, to facilitate renewal in that portion of Near North/Fall Creek. This district could be a part of or in addition to a district for a commercial center at 21st, 22nd, and Meridian as proposed in Recommendation 7 on Page 75.

- 6.) Promote the redevelopment of underused sections of Meridian Street properties for quality office and office/apartment complexes as a means of bolstering the image of this important street. As a step in accomplishing this, the city should investigate with Near North the potentials for larger scale private development projects with potential locations including the following: the portion of the block bounded by 12th, Meridian, SS. Peter and Paul, and Pennsylvania; 16th and Meridian (all four corners of the intersection), the east side of Meridian between 16th and 18th, and both sides of Meridian between 24th and Fall Creek.

Some long-standing residents remained there. Nevertheless, these older residents would not be replaced to any great extent; their children and heirs in many cases would leave to reside in newer areas further north.

As the commercial district expanded to the north, the homes along Meridian and nearby streets would be largely replaced by larger scale businesses and institutional development. Change accelerated after World War II and into the 1970s. Commercial development would come to locate along stretches of the north-south streets north of the Mile Square, particularly along Meridian Street as its residential character south of 30th Street would essentially disappear.

The Old Northside reached its peak as the fashionable residential district of the city just before 1914. Today, no vestige of the residential opulence of Victorian Meridian Street remains.

Reflections of Meridian Street's Victorian glory does survive in the Old Northside's housing area to the east of the study area where many of the homes have been restored. A number of mansions in that area south of 16th Street, particularly along Delaware Street, have been restored and converted to offices for businesses and not-for-profit organizations.

Meridian Street north of 16th Street has seen a few of its mansions saved. Some businesses took over these homes and rehabilitated or restored them for their uses (such as the Levey Mansion and Fairbanks residence which are now part of the Indianapolis Life Insurance Company).

While Near North/Fall Creek continued to grow and change, other forces were also working in contradiction to this to bring about a concurrent cycle of decline for some sections of the area. Like urban areas across the country, Near North/Fall Creek would be left with a weakened marketplace, deteriorating facilities, reduced drawing power, and fewer investors.

The mid-1970s, however, brought change for Near North/Fall Creek. The levels of deterioration would be abated. New developers and businesses were coming into the area, working with Near North Development Corporation, in increasing numbers to add to the work and commitment of long time businesses who were reinvesting in their own facilities.

Home buyers in Herron-Morton and the Old Northside bought and remodeled old homes, bringing back turn-of-the-century elegance. Residents of Meridian-Highland joined with Near North to improve their area.

Real estate values increased as a result of the new construction and development. A number of apartment buildings have been restored or rehabilitated.

- the private sector.
- and staffing for Near North, and additional funding from government, institutions, and private developers, area businesses, and area institutions, through an expanded role would be accomplished by Near North in concert with other organizations, such as Meridian-Highland's housing that needs rehabilitation up to sound condition. This it would be possible to help bring a substantial amount of Highland Vicinity and Housing rehab and construction should be expanded so that within the next five years programs including housing rehab, and compatible new infill housing.
- 3.) Preserve and enhance Highland Vicinity and Meridian-Highland as residential neighborhoods through measures such as appropriate rezonings, improvement programs including housing rehab, and compatible new infill housing.
  - 2.) Give high priority to the development of housing programs that assist the area's older homeowners.
  - 1.) Give high priority to the development of housing programs that assist existing homeowners.

## RESIDENTIAL RECOMMENDATIONS:

- Any reuse of this site for commercial can only be for those uses as described in this recommendation and with Near North, Highland Vicinity Neighborhood, and city approval and with Near North sponsorship.
- transitional yard requirements should be fully applied.
- apartment development as described in Residential Recommendation 3 below. Any for the described commercial uses cannot be accomplished, reuse is recommended for relate to its immediate surroundings and the larger neighborhood. If reuse of this site but are equally concerned about the future use and appearance of this site as it would concerned that there be adequate land available for neighborhood commercial uses Fall Creek open space and Fall Creek Parkway. The city and Near North are residential area, is adjacent to Our Savior Lutheran Church, and is visible from the The site is currently zoned D8 and C1 and is within a larger generally low density semi-public uses, and the Fall Creek corridor.
- few in number, small sized, and not readily visible from nearby residences, public and longer hours would not be appropriate for this site. Signs for uses at the site should be generators, uses that are oriented to the larger city, or uses that normally operate or no evening traffic, and would not be open late into the evening. High traffic elsewhere in the general area), would be low traffic generators, would generate little (including retail, personal services, and professional services that would relocate from should be neighborhood oriented retail and service uses that are traditional to the area 25th and 26th and west of Weybacher Terrace. Commercial uses at this center neighborhood commercial center in the block face on the west side of Capitol between 12.) Support the development of a Near North Development Corporation sponsored

## RECOMMENDATIONS

of Natural Resources/Division of Historic Preservation and Archaeology, July, 1991). The survey found forty-two historically significant places in Near North/Fall Creek.

Ten of these properties were already listed on the National Register. Thirteen additional properties were identified as "Outstanding", significant places that Historic Landmarks recommends also be considered for listing on the National Register. The remaining nineteen properties are listed as "Notable", buildings above average in prominence and which may meet eligibility criteria for the National Register.

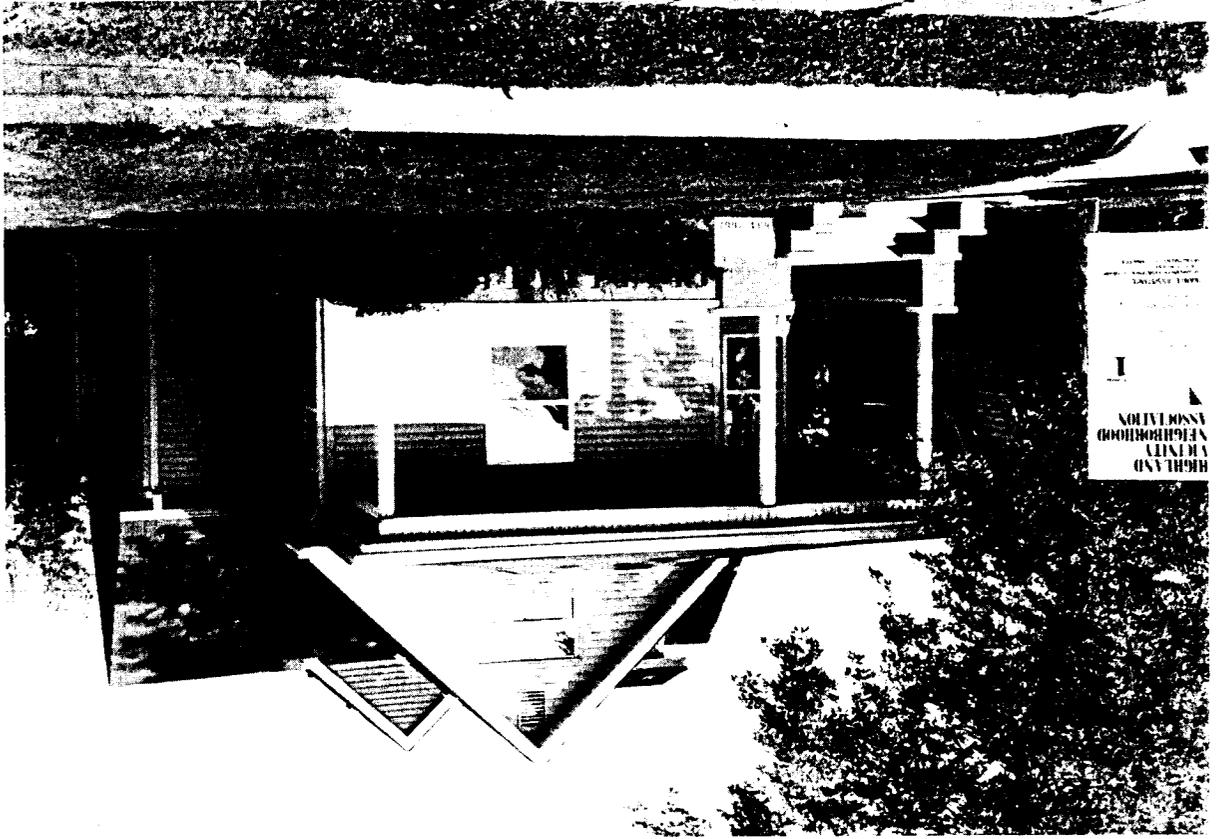
The survey also identified "Contributing" buildings, those constructed pre-1940 but not important enough to qualify by themselves as outstanding or notable. Because of their abundance in Near North/Fall Creek, these contributing structures are not included here (For example, Herron-Morton and the Old Northside historic districts which border on the south and east edges of the study area have dozens of contributing buildings). (Both Herron-Morton and the Old Northside also are listed as local historic areas by the Indianapolis Historic Preservation Commission; any proposed construction or alterations in these districts must receive IHPC approval before they can proceed.)

Included with the survey information is each property's architectural style, date, architect/builder, and area of significance.

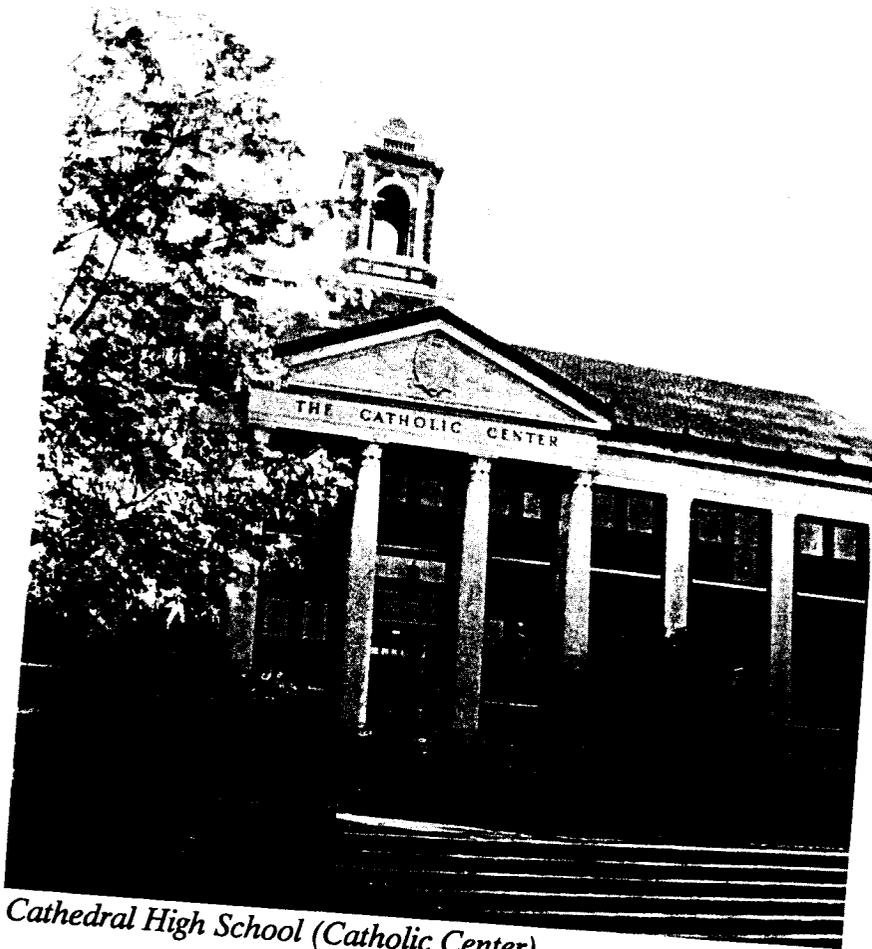
1. American United Life Building, 1 W. 26th St. (Indiana Vocational Technical College)  
Outstanding, Neoclassical, 1931 (Rubush and Hunter, architect), Architecture and Commerce
2. Aufderheide House, 1709 N. Meridian St. (Demolished 1991)  
Outstanding, Jacobethan Revival, c. 1915, Architecture
3. Byram-Middleton House, 1828 N. Illinois St.  
National Register, Italianate, 1870, Architecture and Ethnic Heritage
4. Capitol Avenue Bridge, Capitol at Fall Creek  
Notable, Neoclassical, c. 1905; Architecture, Community Planning, and Engineering
5. Cathedral High School, 1400 N. Meridian St. (Catholic Center)  
Outstanding, Neoclassical, 1926-27; Architecture, Education, and Religion
6. Cathedral of Saints Peter and Paul, 1341 N. Meridian St.  
Outstanding, Neoclassical, 1905-07 (William W. Renwick, architect)/1936  
(D.A. Bohlen & Son, architect), Architecture and Religion
7. Commercial Building, 1401 N. Capitol Ave.  
Notable, Neoclassical, c. 1920, Architecture
8. Commercial Building, 2011 N. Meridian St.  
Notable, Neoclassical, c. 1915 (Rubush and Hunter, architect), Architecture
9. Coulter Flats, 2161 N. Meridian St.  
National Register, Spanish Mission Revival/Craftsman, 1907, Architecture

The remaining 100 units should be multi-family. In Highland Vicinity, this potentially would be composed of forty apartment units, possibly for older residents, on the block face of Capitol west of Weyerbacher Terrace (This site is also shown as a possible site for a neighborhood commercial center by Near North Development Corporation in Commercial Recommendation 12 with feasibility to be determined by further study by Near North, apartment development being an appropriate reuse if the recommended commercial reuse cannot be attained), and a thirty unit apartment complex on the vacant land bounded by I65, Fall Creek, and 23rd Street. In Meridian-Highland, this potentially would consist of a thirty elderly unit addition to Kenwood Place south of the south building.

- 4.) As a further means of helping speed and expand rehab efforts in Highland Vicinity and Meridian-Highland, Near North should create an Adopt-A-Block program similar to that developed in Mapleton-Fall Creek, with assistance from area institutions and businesses.
- Mapleton-Fall Creek's program is with area churches. Because Near North does not have as many large, established churches as does Mapleton-Fall Creek, it is recommended that in addition to churches, area businesses and other institutions, of



17. House, 37 W. Fall Creek Pkwy. S. Dr.  
Notable, Craftsman, c. 1910, Architecture
18. House, 2450 N. Illinois St.  
Notable, Queen Anne/Free Classic, c. 1890, Architecture
19. House, 1715 N. Meridian St.  
Outstanding, Jacobethan Revival, c. 1915, Architecture
20. House, 1408 N. Pennsylvania St.  
Notable, c. 1900-01
21. House, 2735 N. Pennsylvania St.  
Notable, Mission Revival, c. 1915, Architecture
22. Illinois Street Bridge, Illinois at Fall Creek  
Notable, Neoclassical, c. 1905; Architecture, Community Planning, and Engineering
23. Louis Levey Mansion, 2902 N. Meridian St.  
National Register, Beaux Arts, 1905 (attributed to Bernard Vonnegut, architect),  
Architecture



*Cathedral High School (Catholic Center)*

- 5.) Promote the development of new housing along Meridian Street possibly incorporated with office development.
- 6.) Support increased police patrols in the area.
- 7.) Near North Development Corporation should encourage apartment owners to increase contacts with their tenants and to better screen potential tenants.
- 8.) Neighborhood streets, alleys, curbs, and sidewalks should be adequately maintained. Vacant lots should be free of trash and have weeds cut.
- 9.) Citizens Neighborhood and the King Park Development Corporation should undertake housing projects along the east side of Pennsylvania south of Fall Creek. Existing buildings should be rehabilitated where possible. Compatible, new housing should be constructed on vacant lots.

**Potential Housing Programs and Social Improvement Programs:**

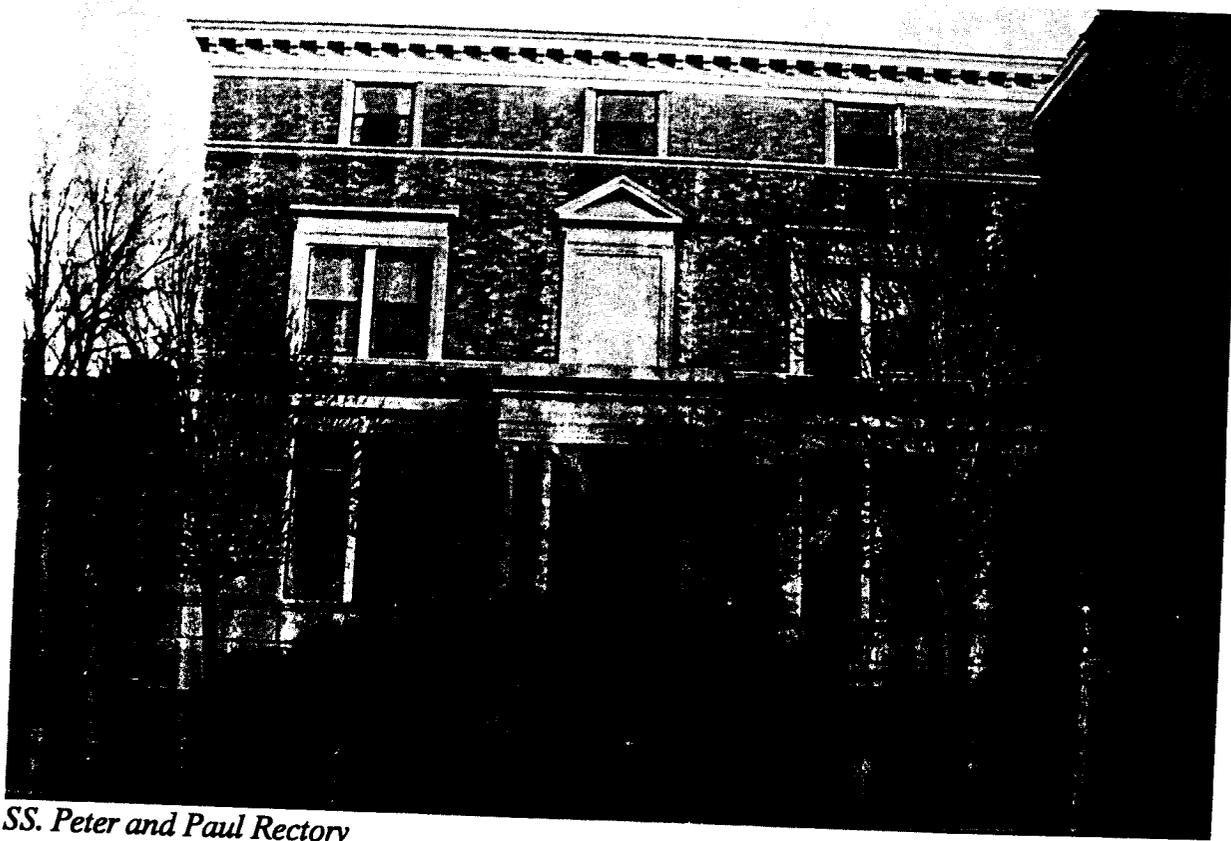
There are a variety of programs that could be employed to accomplish housing rehab and new construction. Many are existing programs; additional new programs also may be needed. Funding levels also may need to be increased. In addition to programs directly related to housing production, are those related to helping owners and renters deal with financial requirements, maintain their buildings, etc. The following lists potential programs:

**Homeowners:**

**Existing Housing:**

- Homeowners Home Improvement Loan Program - Neighborhood and Development Services Division (NDSDD)
  - Investor-Owned Rehab Loan Program - NDSDD
  - Low Interest Rehab Loan Program - NDSDD
  - Reverse Annuity Mortgage - private lenders
  - Housing Counseling - Indianapolis Neighborhood Housing Partnership (INHP)
  - Home Improvement Loans - INHP, Community Development Corporations (CDCs), private lenders, Adopt-A-Block participants
  - Rehab Training - INHP
- New Housing Development:**
- New Home Infill Program - NDSDD
  - Tax Abatement - NDSDD
  - Housing Counseling, Repurchase Training - INHP
  - Home Mortgages - INHP, CDCs, private lenders, Adopt-A-Block participants
  - Gap Financing - INHP
  - Construction Loan Program - INHP, private lenders

30. North Park Christian Church, 130 W. 29th St. (New Liberty Missionary Baptist Church)  
Notable, Tudor Revival, 1899, Architecture and Religion
31. Picadilly Apartments, 22-36 E. 16th St.  
Outstanding
32. Pontius-Marleigh Apartments, 1433 N. Pennsylvania St.  
Outstanding, c. 1920-25
33. Raleigh Apartments, 108 E. 13th St.  
Notable, 1925
34. St. Agnes Academy, 1350 N. Meridian St.  
Outstanding, Italian Renaissance, c. 1915 (D.A. Bohlen & Son, architect);  
Architecture, Education, and Religion
35. St. James Court, 2102-2108 N. Meridian St.  
National Register, Craftsman, 1919 (Frank B. Hunter, architect), Architecture
36. St. Vincent Hospital, 2534 N. Illinois St.  
Notable, Neoclassical, 1911-12 (D.A. Bohlen, architect); Architecture,  
Health/Medicine, and Religion



*SS. Peter and Paul Rectory*

- a.) Dredge the channel and clear debris.
- b.) Clear undesirable vegetation and deadwood.
- c.) Plant the corridor with shade trees and native vegetation.
- d.) Construct a terraced seating area of the north bank between Capitol and Illinois.
- e.) Construct a boardwalk under the Illinois Street Bridge on the north bank.
- f.) Install architectural lighting effects at the historic bridges to highlight them at night.
- g.) Reduce the width of Fall Creek S. Dr. between Pennsylvania and Meridian to one lane plus parking and replace the excess roadway with a widened pedestrian area and landscaping. Repair the balustrade.

3.) Promote improvements to the Fall Creek Corridor. A plan for the stretch of Fall Creek from 30th Street downstream to Watkins Park was prepared in 1985 by a consultant for the Department of Public Works. Some portions of the plan were accomplished such as dredging the stream and planting ornamental trees. However, many of the major parts of the plan were not implemented. The 1985 plan forms the backbone of this plan's recommendations for the Fall Creek Corridor. Some modifications have been made in response to environmental and cultural changes since 1985. The 1985 plan has also been scaled back to a form that should be more easily implemented. Specific recommendations are the following:

- 1.) Undertake a tree planting program along major streets with priority to Capitol, Illinois, Meridian, Pennsylvania, 12th, 16th, 21st, 22nd, Fall Creek Parkway, 29th, and 30th.
- 2.) Promote improvements to Barton Park.
- 3.) Promote improvements to the Fall Creek Corridor.

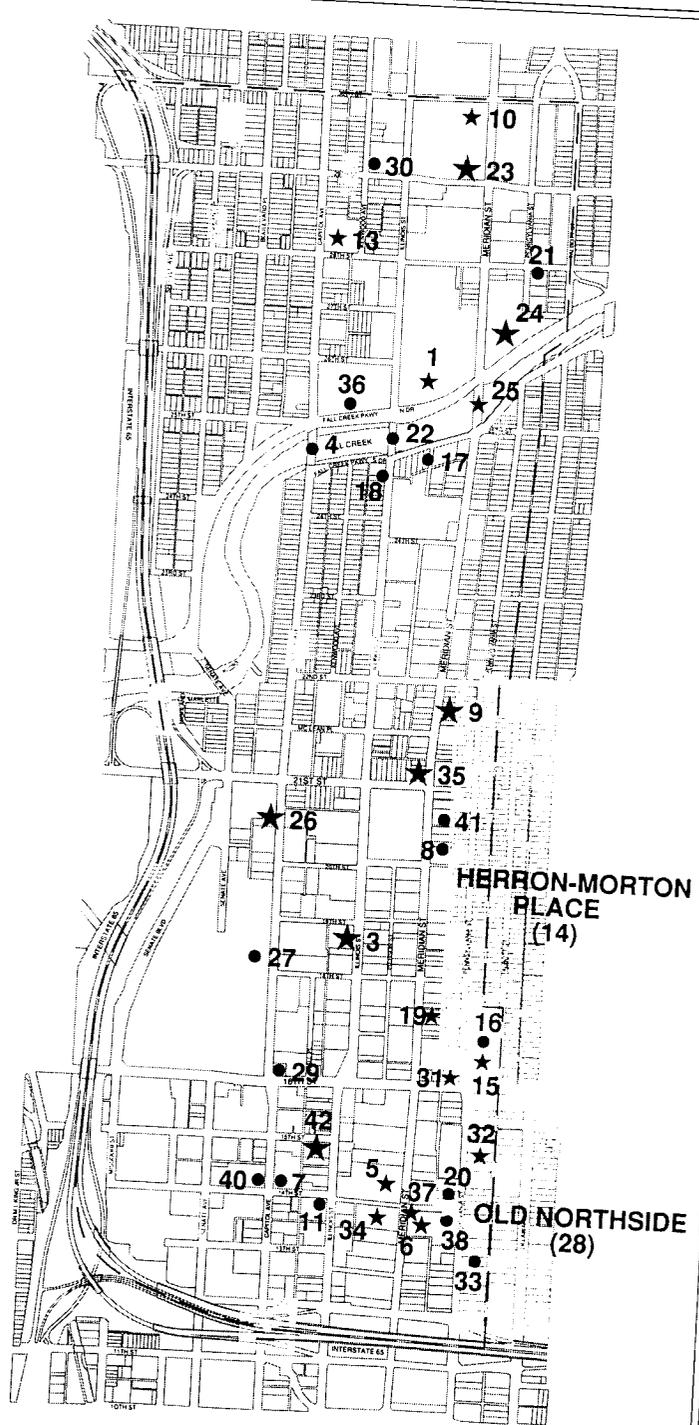
#### **PARKS AND OPEN SPACE RECOMMENDATIONS:**

- 1.) Support the growth and expansion needs of area institutions such as Methodist Hospital, promoting development compatible with adjacent residential.
- 2.) Promote long-term garage development for the area's major institutions.
- 3.) Support the continued active community service roles of area institutions such as Near North, Citizens, UNWA, Mapleton-Fall Creek, and Flanner House.
- 4.) Support programs to address the transportation needs of senior citizens and others without private transportation.

#### **PUBLIC AND SEMI-PUBLIC RECOMMENDATIONS:**

#### **RECOMMENDATIONS**

- ★ NATIONAL REGISTER OF HISTORIC PLACES
  - ★ OUTSTANDING STRUCTURE
  - NOTABLE STRUCTURE NATIONAL REGISTER AND LOCAL HISTORIC AREA
- HISTORIC SITES AND STRUCTURES**
- 



INDIANAPOLIS-MARION COUNTY, INDIANA  
 DEPARTMENT OF METROPOLITAN DEVELOPMENT  
 PLANNING DIVISION  
 OCTOBER 20, 1993  
 NEAR NORTH DEVELOPMENT CORPORATION

**3**

**NEAR NORTH/FALL CREEK**

**RECOMMENDATIONS**

**INDUSTRIAL RECOMMENDATIONS:**

- 1.) Support relocation of industrial and commercial-industrial uses to the Near North Industrial Park.
- 2.) Support relocation of any other area industrial establishments which can not be relocated into the Near North Industrial Park to other appropriate industrial districts in Center Township.
- 3.) Upgrade the appearance of the Near North Industrial Park through development of design guidelines for building construction and additions, street landscaping, signs, and parking lots, and a street tree planting program.

**RESEARCH AND TECHNOLOGY RECOMMENDATIONS:**

- 1.) Support development of a strategy to identify and attract to the Near North Industrial Park, research and technology uses that would relate to area hospitals and medical facilities.
- 2.) Assemble and prepare sites in the Near North Industrial Park to assist research and technology firms to locate in the area.

## **EXISTING CONDITIONS**

This chapter describes Near North/Fall Creek's existing characteristics of land use, zoning, building conditions, socioeconomic data, health, environmental quality, transportation, and appearance. These conditions are documented to help provide a clear understanding of the area. The subsequent chapter analyzes the workings and interactions of these conditions to help permit the development of goals for the area and recommendations directed toward area improvements.

### **EXISTING LAND USE**

The area is mixed-use in character, but does contain smaller homogeneous areas throughout. Land use categories are the following:

1.) Commercial:

- a.) Office: Offices are located principally along Meridian Street with greatest concentrations in the 1200 through 2000 blocks and the 2800 and 2900 blocks. There are smaller areas of office development on Capitol and Illinois nearby Methodist Hospital and on Pennsylvania south of 16th Street. Office uses include insurance, utilities, nonprofit organizations and associations, Radio/TV, advertising, law, and medical and health-related, uses traditional to the area of North Meridian Street near to downtown and the vicinity of Methodist Hospital. Specific office uses include Indianapolis Life, Meridian Mutual, Grain Dealers Mutual, Citizens Gas and Coke, Indiana Energy, Lilly Endowment, Methodist Health Foundation, DeMars, Boy Scouts of America, Metropolitan Indianapolis Board of Realtors, and offices and studios of TV stations (6, 8, 20, 23, 59, WAJC) and radio stations (WAJC, WFYI, WTLC, and WZPL/WXIN). Offices make up about twenty percent of the land area of the corridor.
- b.) Retail and Service: There are but a few resident oriented retail and service businesses in the area, the largest a 7/11 market at 28th and Capitol. There are two drug stores in the southern portion of the area. Most residents must rely on stores outside the area to fill their needs. Lafayette Square is only minutes away by car using Interstate 65; the nearby 38th and Illinois retail area has a number of shops. Residents who must rely on the bus, however, are at a hardship. There are a number of restaurants and shops that cater to area employees and visitors. Commercial retail and service make up about five percent of the area of Near North/Fall Creek.

- 1.) Maintain the present levels-of-service of area streets.
  - 2.) Upgrade streets, alleys, curbs, and sidewalks with particular attention to Meridian and neighborhood streets.
  - 3.) Investigate the potential to downgrade Highland and Boulevard to local street status.
  - 4.) Investigate ways to discourage non-local traffic off the alley west of Boulevard south of 30th Street.
  - 5.) Request an alignment study for the proposed 21st/22nd Streets Connector. The Official Thorougfare Plan recommends a new street to connect 21st and 22nd Streets between Senate and Illinois. This new street connection is given a "D" priority in the Official Thorougfare Plan which is the lowest priority assigned. The city at this time does not have any construction schedule for this particular street segment nor does it have any such plans for the foreseeable future. (The long range transportation plan for the Indianapolis Metropolitan Planning Area is currently being updated which will result in a review and reevaluation of the proposals of the Official Thorougfare Plan including the proposed 21st/22nd Connector. The update of the long range plan will be completed in the next eighteen to twenty-four months and will include considerable public involvement.)
- The 21st/22nd Connector, if constructed west of Illinois Street, would cause significant disruption to Meridian-Highland Neighborhood. If further study demonstrates the continued need for this connection, its location and design should be determined so as to minimize disruption to the residential area. Near North Development Corporation has requested that the 21st/22nd Connector be considered for removal from the Official Thorougfare Plan.
- 6.) Develop a landscape buffer between 165 and Highland and Highland Neighborhood. Landscaping in the area between 165 and Shriver Avenue in Highland Vicinity will visually buffer the homes from the interstate highway. Landscaping may also provide some noise abatement. This landscape proposal (see Map on Page 89) was developed according to the following criteria: to not create a wall of vegetation, but to allow some distant views through the vegetation; to use a small but diverse plant palette in order to achieve continuity without monotony; and to not obstruct signs, lighting, or sight triangles at intersections.
- Vines are recommended to soften walls and obscure the chain link fencing. Much of the fencing is rusted and in poor condition and should be replaced.
- The vacant site at the southeast corner of 29th Street and the interstate ramp is unlikely to be developed given its difficult access. A possible use for this space may be as a landscaped entry point or gateway to the area. Sculptural pieces could celebrate local attractions such as the Children's Museum and Riverside Park, as well as directing visitors to them.

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## RECOMMENDATIONS

### TRANSPORTATION RECOMMENDATIONS:



*Neighborhood Street in Highland Vicinity*

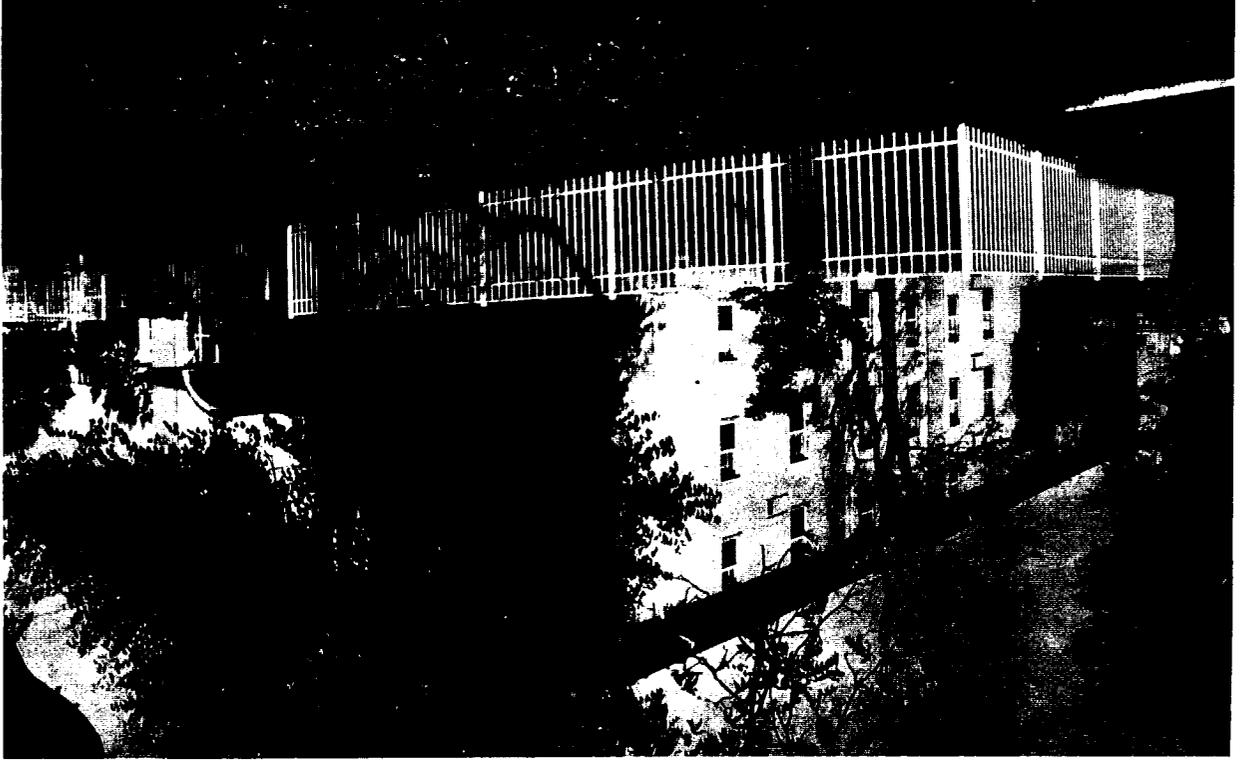
Illinois is an elderly project developed with the assistance of Near North Development Corporation. The Marott and Weyerbacher Terrace are landmark apartment buildings north of Fall Creek.

3.) Public and Semi-Public - Institutional uses make up about twenty percent of the area of Near North/Fall Creek. A number of these uses are important throughout the city, some throughout the state and include:

- Indiana Vocational Technical College (Ivy Tech), 1 W. 26th
- Methodist Hospital, I65 at 21st
- Ruth Lilly Center, 2055 Senate
- Herron School of Art, 1701 Pennsylvania
- Catholic Center, 1400 Meridian
- SS. Peter and Paul Cathedral, 1341 Meridian
- Community Action Against Poverty, 2451 Meridian
- Community Action's Operation Head Start, 2701 Capitol
- Little Red Door, 1401 Meridian

**APPEARANCE RECOMMENDATIONS:**

- 1.) Request that the Metropolitan Development Commission and City-County Council consider revising the Regional Center Secondary District to incorporate development standards for both residential and non-residential properties, including building treatment, siting, signs, and parking standards similar to the recommended Design Guidelines that follow this section.
- 2.) Encourage Near North to undertake a program to encourage voluntary compliance with the Design Guidelines.
- 3.) Encourage Near North to establish a design review committee, with representation including area residents, businesses, and institutions, to review and comment on any zoning, variance, or approval petitions.
- 4.) Institute a street tree planting program along major streets with priority to Capitol, Illinois, Meridian, Pennsylvania, 12th, 16th, 21st, 22nd, Fall Creek Parkway, 29th, and 30th.
- 5.) Undertake a landscaping program along I65 between 23rd and 30th Streets as described under Transportation Recommendation 6 to beautify the area and provide screening of the interstate and help buffer noise on the adjacent residential. Investigate expanding the program to adjacent stretches of the interstate.
- 6.) Institute a front yard landscaping program along Meridian and Pennsylvania Streets.



*Kenwood Place Apartments*

Organizations such the Central North Civic Association and the North Meridian Business Group act as forums to address common community problems.

There are also a number of important community facilities and service organizations immediately adjacent to the Corridor (including the Children's Museum at 3000 Meridian, MidWest Medical Center at 3232 Meridian, the Mapleton Post Office at 3410 Graceland Avenue, Blackburn Community Health Center at 2700 Martin Luther King, Citizens Health Center at 1650 North College, Citizens Multi-Service Center at 601 East 17th, UNWA at 1100 West 30th, and Flanner House at 2424 Martin Luther King).

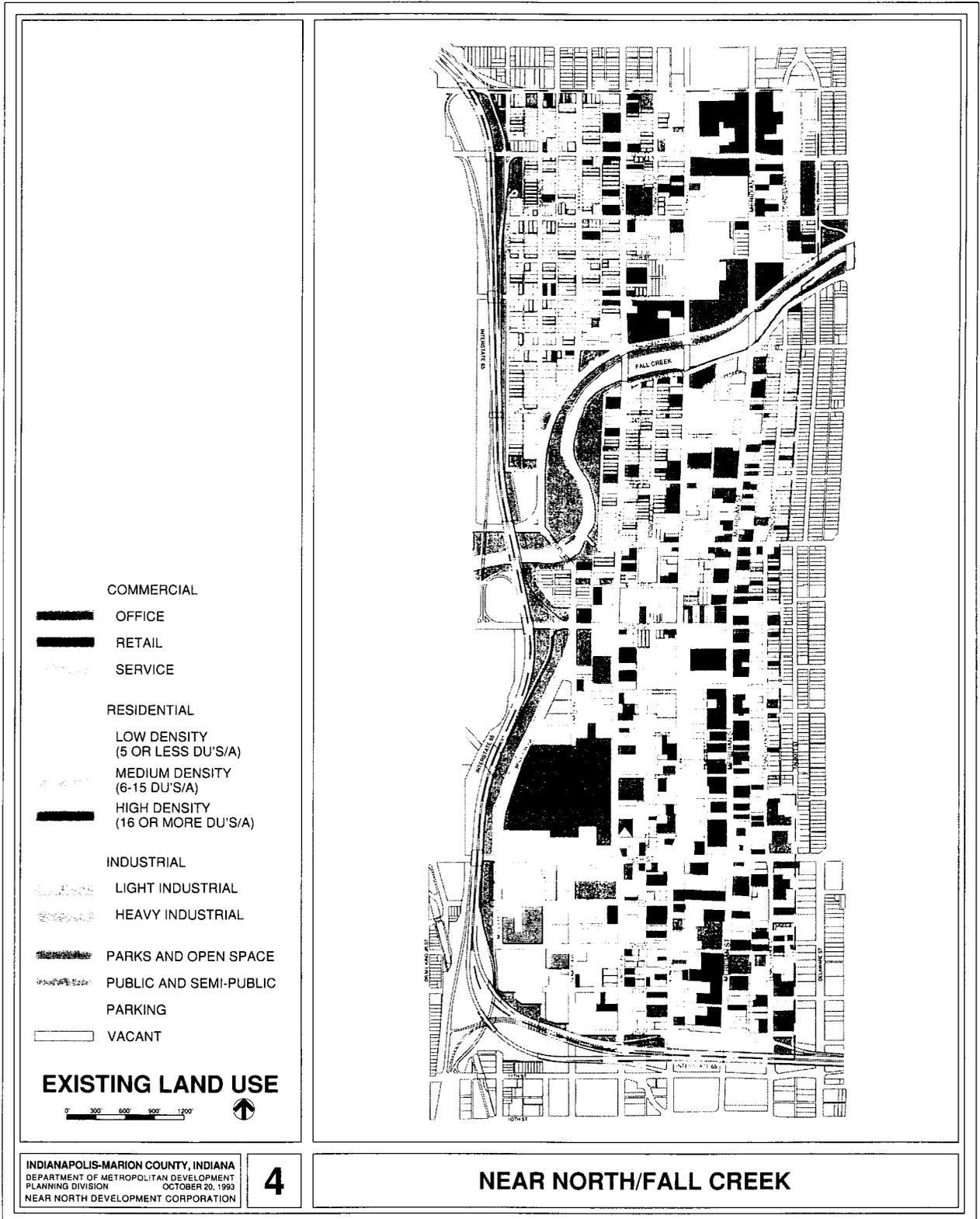
- 4.) Parks and Open Space - Parks and permanent open space make up about three percent of the corridor's land area. Barton Park and Talbott and 29th Park are the two parks in the area. Barton Park is a nine acre neighborhood park with natural areas along Fall Creek and a children's playground. Talbott and 29th Park is a sub-neighborhood park with a basketball court, two horseshoe courts, a playground, and a picnic shelter. The Fall Creek corridor which moves through the center of the area provides for informal recreational opportunities.



*Our Savior Lutheran Church*

*Meridian Street Television Station*





**IMPLEMENTATION**

**DESIGN GUIDELINES**

An important implementation tool to assist the continuing revitalization of the North Meridian Street Corridor is the Regional Center Zoning Ordinance. This ordinance provides the Metropolitan Development Commission with broad authority over permitted uses and the appearance of development in the corridor. In the following are quoted pertinent sections of the Regional Center Ordinance. The original ordinance also should be consulted for the final wording on use restrictions and required development standards. The RC Ordinance also should be consulted together with the Design Guidelines that follow on Page 95 for any new development or renovations.

**A.) Regional Center Zoning Ordinance, North Meridian Corridor Use Restrictions:**

(1) The following uses . . . are not permitted:

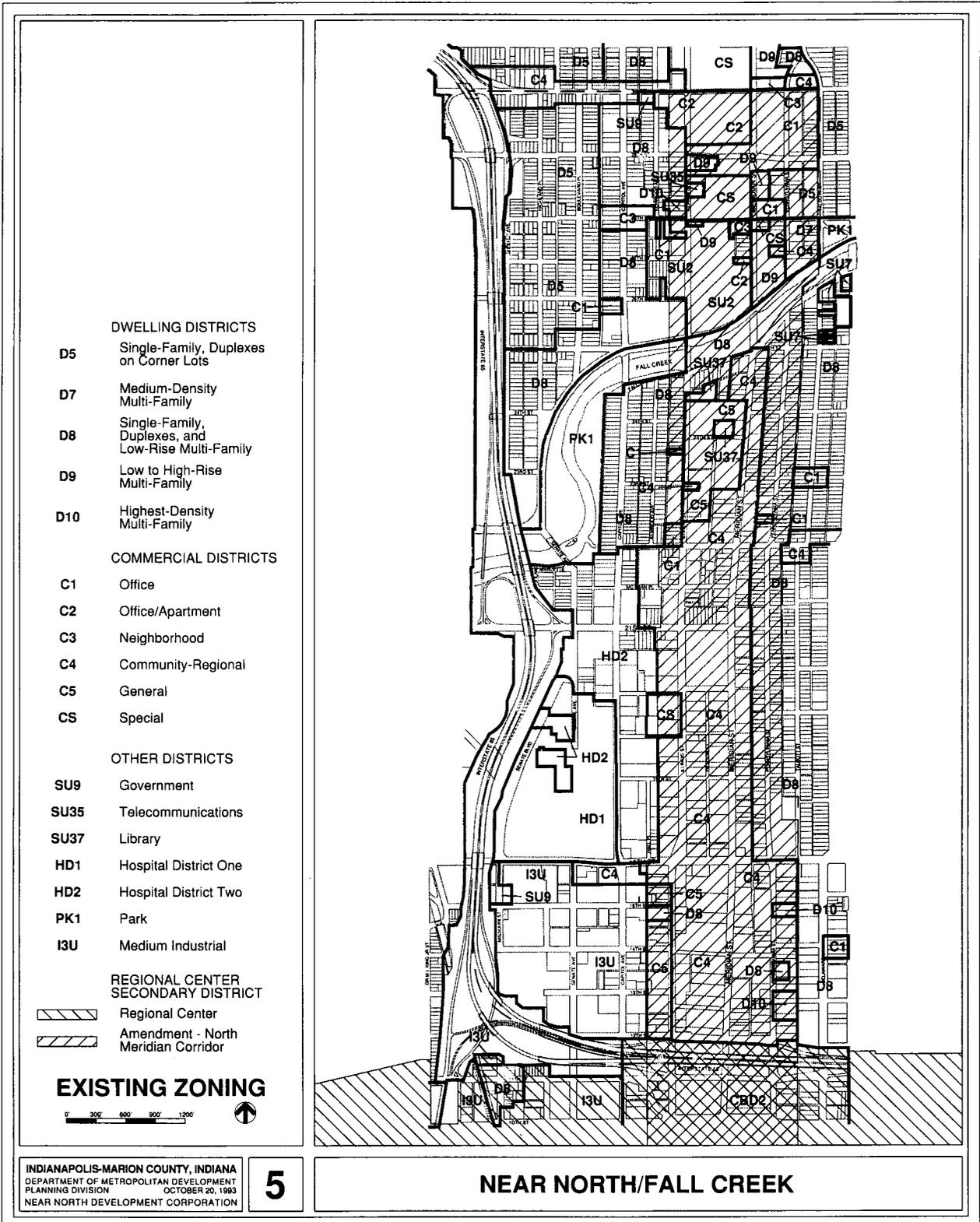
- (a) CLASS I REGULATED COMMERCIAL USES, including AMUSEMENT ARCADES, MASSAGE PARLOR SERVICE OR FACILITY, ADULT BOOKSTORE, ADULT THEATER, ADULT AMUSEMENT, RECREATION OR ENTERTAINMENT CENTER OR FACILITY, as defined and regulated by the Commercial Special Exceptions Ordinance of Marion County, Indiana (76-AO-2).

(2) The following uses seeking to locate within the NORTH MERIDIAN STREET . . . shall not be permitted. Any of the following uses lawfully in existence on the date of this ordinance shall be permitted to remain.

- (a) PAWN SHOPS, LOAN SHOPS, AND VARIETY STORES.
- (b) GASOLINE SERVICE STATIONS on any lot with frontage on Meridian Street.
- (c) USED CAR SALES, except as an accessory use to new car sales.
- (d) CAR WASH COMPLETELY INDOORS, SELF-SERVICE CAR WASH, AUTOMATIC OR SEMI-AUTOMATIC CAR WASH.
- (e) PACKAGE LIQUOR STORE except as a part of an integrated commercial center.
- (f) DRIVE-IN RESTAURANT (FAST FOOD RESTAURANT) except as a part of an integrated commercial center. Drive-in restaurant is defined by the Commercial Zoning Ordinance (69-AO-1).

(g) INDOOR COMMERCIAL AMUSEMENT, RECREATION AND ENTERTAINMENT including:

- BOWLING ALLEY, BILLIARD PARLOR, GYMNASIUM, TENNIS FACILITY, ROLLER OR ICE SKATING RINK, NIGHT CLUB, PRIVATE CLUB, OR LOUNGE on any lot fronting on Meridian Street except as a part of an integrated commercial center or as an accessory use to an office, hotel, or apartment complex.



**IMPLEMENTATION**

- All lawns; required front, rear and side yards shall be regularly mowed during growing season, and shall be free of weeds, trash, and litter at all times.
  - Shrubbery, trees, ground cover and planting beds shall be maintained in a safe, functional, and aesthetic condition.
  - Walks, steps, drives and parking lots including surfaces and edges shall be maintained in a safe, functional and clean condition. Chuckholes, in parking lots, broken curbs and crumbling sidewalks shall be repaired to original condition.
  - Building exteriors including awnings, porches, hardware and windows shall be properly maintained, kept clean, painted and in good repair.
  - All Existing and proposed uses shall comply with these maintenance standards after the effective date of this ordinance.
  - (iii) All existing uses and all new uses shall be required to meet the screening and landscaping provisions of this section as stipulated in the amortization provisions of this ordinance (Section 1.00A2d).
- (d) SIGNS
- (i) BUSINESS SIGNS
    - Business signs shall comply with the sign regulations of Ordinance 71-AO-4, SIGN REGULATIONS of Marion County, Indiana, and be further modified by the following:
    - (a) Business signs within the North Meridian Street Corridor shall be limited to wall signs, ground signs, pole signs and projection signs.
      - Pole signs shall not exceed 36 square feet per sign face.
      - Ground signs shall not exceed 36 square feet per sign face.
      - Projecting signs shall not exceed 18 square feet per sign face.
    - (b) All existing business signs and all new business signs within the North Meridian Street Corridor shall be required to meet the provisions of this section and the amortization provisions of Section 1.00A2d of this ordinance.
  - (ii) ADVERTISING SIGNS
    - Advertising signs shall be permitted and shall comply with the sign regulations of Ordinance 71-AO-4 SIGN REGULATIONS of Marion County, Indiana.
  - (iii) All existing signs and all proposed signs within the NORTH MERIDIAN STREET CORRIDOR shall be required to meet the provisions of this section . . . . .

**RESIDENTIAL BUILDING CONDITIONS**

An exterior building condition survey was conducted for the Near North/Fall Creek's two major housing areas Meridian-Highland and Highland Vicinity. Each primary residential structure in these two areas was evaluated for one of the five following conditions:

- 1.) Excellent Condition: The building needs no attention in the form of paint or repairs
- 2.) Superficial Repairs:
  - a.) exterior walls - peeling paint on less than 50 percent of the structure
  - b.) windows, sashes, door frames - missing storm inserts, missing or torn screens
  - c.) gutters, downspouts - rusty, peeling paint
- 3.) Minor Rehabilitation:
  - a.) exterior walls - peeling paint on more than 50 percent of the structure
  - b.) foundation - small cracks (hairline)
  - c.) roof - loose or missing shingles, obvious wear
  - d.) windows, sashes, door frames - cracked glass, missing storm inserts
  - e.) chimney - small cracks
  - f.) gutters, downspouts - rusty, peeling paint, dents
  - g.) porch - small cracks
- 4.) Major Rehabilitation:
  - a.) exterior walls - leaning, extensive rotting material, loose masonry
  - b.) foundation - settling, crumbling, loose masonry
  - c.) roof - sagging, rotting material
  - d.) windows, sashes, door frames - doors or windows missing
  - e.) chimney - leaning
  - f.) gutters, downspouts - rusted or rotted material
  - g.) porch - rails or banisters missing, separation (pulling away) from main structure
- 5.) Dilapidated:
  - a.) exterior walls - leaning or bulging, large holes, rotting and missing material
  - b.) foundation - uneven, settlement, sinking, large cracks, missing bricks, large holes, out of plumb
  - c.) roof - extreme sagging, warping, rotting material, large holes
  - d.) windows, sashes, door frames - broken or missing glass, boarded windows, rotten or rusted materials, distorted frames, doors or windows missing
  - e.) chimney - leaning, missing bricks, missing or collapsed portions, missing mortar
  - f.) gutters, downspouts - rusted or rotted material, holes, sagging, missing sections or completely absent
  - g.) porch - rails or banisters missing, floor collapsed, separation (pulling away) from main structure, missing sections.

An important future task for the area will be to accomplish a revision to the RC Ordinance amendment for the area so that these design guidelines can be elevated to the status of RC Zoning Ordinance development standards. An additional important task of any future major planning effort in Near North/Fall Creek should be to investigate the potential and desirability of developing design guidelines for the entire study area.

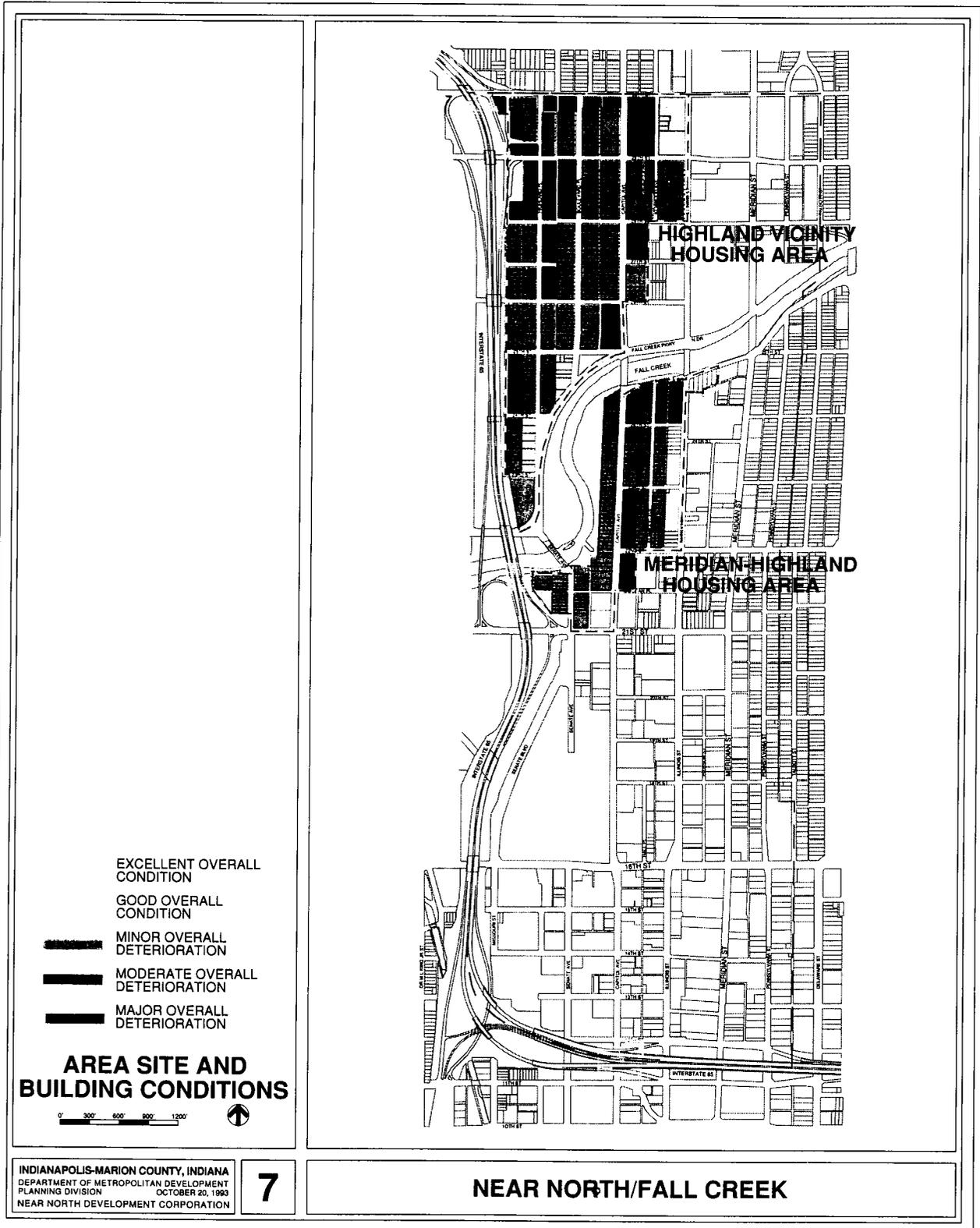
These guidelines are compatible with the development standards of the RC Ordinance. There may be instances where they are not compatible with other primary zoning ordinances. In such cases, zoning variances may be necessary for situations where these guidelines conflict with the requirements of the other zoning ordinances. The benefits to be gained by applying the guidelines will justify the variances. Staff will be in a position to support variance of zoning ordinance development standards to these new guidelines as appropriate for any new development or rehabilitation projects if the guidelines are strictly applied. Staff will also use these guidelines in the review of any development seeking public assistance.

These guidelines do not replace the development standards of the existing zoning ordinances; they do not have the status of city ordinances as do zoning ordinances. Their application is being promoted so that new improvement projects can be tailored to respond specifically to the positive physical characteristics of the area. This was an important goal of the 1983 RC Ordinance amendment for the North Meridian Corridor.

The guidelines should be encouraged for all new development or rehabilitation projects. Property owners also should be encouraged to bring existing development into voluntary compliance with the guidelines.

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## IMPLEMENTATION



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**SOCIOECONOMIC CONDITIONS**

The 1990 population for Near North/Fall Creek was 5,078 persons. This represents a decline of 15.9 percent since 1980 (6,038 persons in 1980) and 41.2 percent since 1970 (8,640 persons in 1970). Housing units in 1990 totaled 3,273, a decline of 18.2 percent since 1980 (3,796 units in 1980) and a decline of 29.5 percent since 1970 (4,642 units in 1970). During the period 1970-1990 the county's population grew by .4 percent and the number of housing units by 29.9 percent.

The area lies within the western portions of three Census Tracts: 3515 (bounded by Fall Creek, I65, 30th, and Central), 3516 (Fall Creek, I65, 21st St., and New Jersey), and 3533 (21st St., I65, and Alabama). Most of the loss in population was in the study area's portions of Tracts 3516 and 3533 which lost approximately 50 percent of its population from 1970 to 1990 (while losing 29.1 percent and 47.1 percent respectively of their housing units). Near North/Fall Creek's portion of Tract 3515 lost 20.7 percent of its population during the twenty year period (and actually experiencing a 6.2 percent gain in housing units).

The area is 72.4 percent African-American versus 21.3 percent for the county. The two northern tracts are almost 90 percent African-American while the southern tract is approximately 52 percent White.

There is a relatively high percentage of elderly 65 years and over including 18 percent in Tract 3515 (1.6 times the county rate) and 21.2 percent in Tract 3533 (1.8 times the county rate). Included are very high percentages of widows and widowers. The area also has a high percentage of people 15 years and over who have never married (51.5 percent, 1.7 times the county).

Coupled with the population data is the high percentage of one person households (58.3 percent versus a county rate of 29.3 percent) including 68.6 percent of the households in Tract 3533. Tract 3533 also has a very low 1.39 persons per unit average in rental housing and 38.1 percent of its units one or two rooms in size (and most of these assumed to be renter housing). Much of this also relates to the area's location close to downtown. 17.2 percent of the persons in Tract 3533 are institutionalized.

Rental rates are relatively low and relate at least in part to the high percentage of smaller apartment units. Such units would appeal to smaller young and elderly households. Data on the value of owner occupied housing demonstrates the reinvestment occurring in Herron-Morton and the Old Northside. The median value of owner occupied units in Tract 3533 was \$76,500, more than twice the average for Tracts 3515 and 3516.

1989 household income rates are below the county's median of average of \$36,135. Tract 3515's average was \$18,214, Tract 3516 was \$15,789, and Tract 3533 was \$17,676.

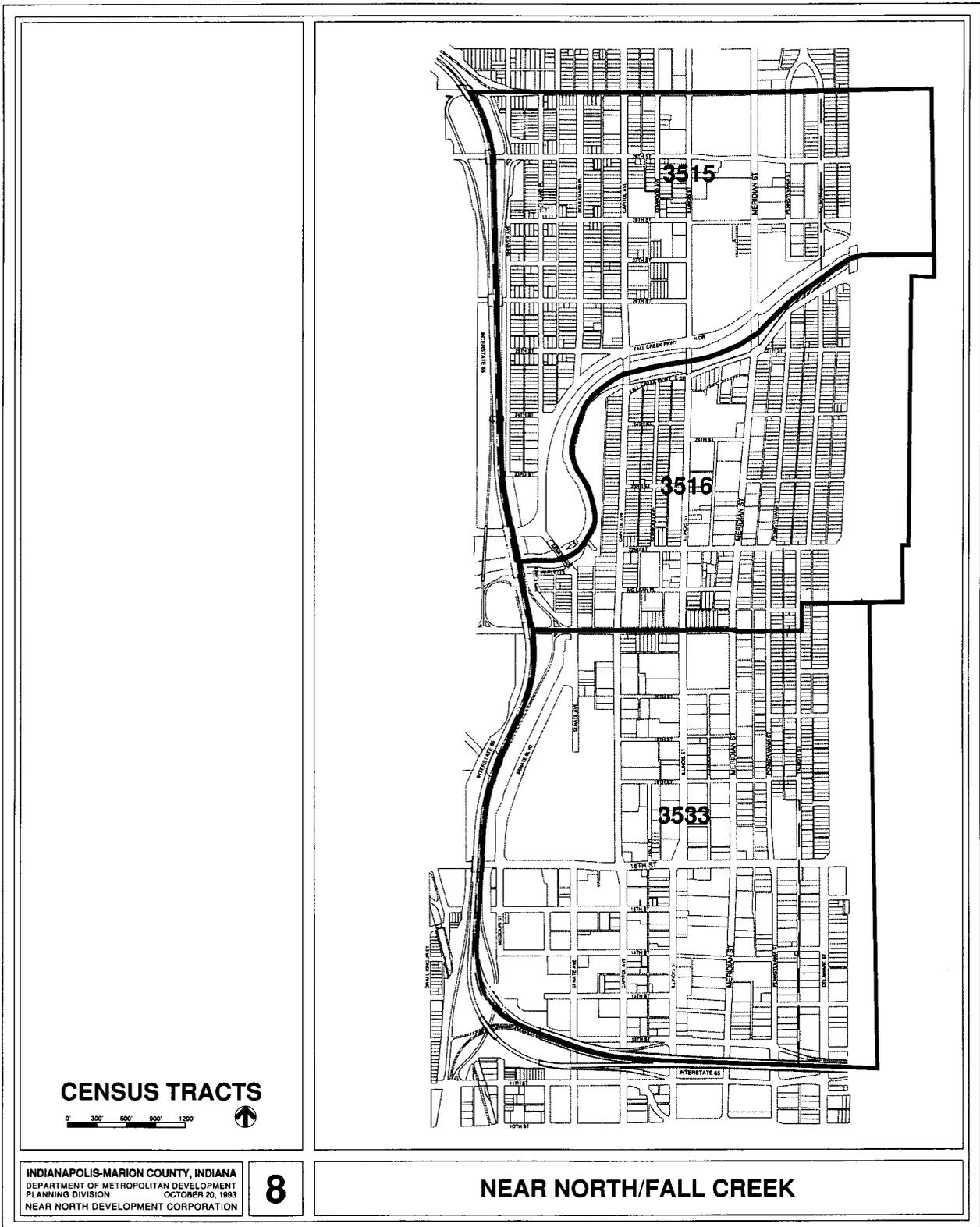
**I. Architectural Components**

The reasons for developing building design standards are to make sure that new buildings or newly remodeled buildings:

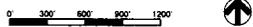
- Are compatible in color, style, construction, location, etc. with the surrounding environment, and
- Are suitable for the type of business that they contain.

**A.) Building Setbacks and Yards:**

- 1.) **Front setback** - The RC Ordinance states that for the North Meridian Street Corridor: "Buildings and structures shall be located along the established front setback line (as defined in Section 2.00A2 of the Commercial Zoning Ordinance of Marion County, 69-AO-1, as amended)." Elsewhere in the area, in general, new construction should have the same building-to-site relationship as older buildings in the immediate area that contain similar uses. Any permitted gasoline service station or similar automobile oriented use may set back near the rear property line to allow for automobile circulation in front of the building, except if the uses of any such properties change then the front setback requirement should be the same as for other uses. Parking, other than for the above mentioned uses, should be located behind the front building line, but should not be permitted in front of buildings. The RC Ordinance states that for the Meridian Corridor: "Off-street parking shall not be permitted in any required front yard."
- 2.) **Side and rear yards** - In general, new construction should have side and rear yard setbacks similar in depth to surrounding existing development within two hundred feet. Typically, rear yards in the area have been used for parking, loading, and trash removal. These uses may continue where they meet the standards for parking, loading, and trash removal for several similar adjacent uses should be merged so that duplication of these facilities is minimized.
- 3.) **Transitional yards** - If transitional yards (where required yards abut or are across the street or alley from a residential, special use, or park district) are varied by any approved variance, they should not be less than six feet in width and should contain either a landscaped strip, fence, or wall (described later).



**CENSUS TRACTS**



INDIANAPOLIS-MARION COUNTY, INDIANA  
DEPARTMENT OF METROPOLITAN DEVELOPMENT  
PLANNING DIVISION      OCTOBER 20, 1993  
NEAR NORTH DEVELOPMENT CORPORATION

**8**

**NEAR NORTH/FALL CREEK**

general proportions of storefront framing and window size as older buildings in the area. Similarly, when buildings are remodeled, these proportions should not be destroyed.

**F.) Building Facades:**

Reconfiguration of the facades of any existing buildings should be permitted only if the remodeling or rebuilding would improve the appearance of the building in part to make it more in character with that of surrounding buildings. The facades of any new building should be in character with that of surrounding buildings in which it is to be placed. Windows in existing buildings should not be reduced in size or filled in; either of these changes would significantly detract from a building's appearance.

At least twenty percent of the public street facades of new nonresidential buildings or additions to existing nonresidential buildings should be devoted to windows and doors. Any glass in windows of area buildings should be non-reflective or low-reflective glass. Twenty-five to thirty percent of the public street facades of new apartment buildings or additions to existing apartment buildings should be devoted to windows and doors.

**G.) Building Height:**

Commercial retail and service buildings in the area are typically one or two stories tall. New commercial retail and service buildings should conform to this. The portions of new commercial retail and service buildings at Meridian Street intersections should be at least twenty-five feet or two stories in height.

Office buildings are generally two or three stories, with a few being mid-rise. The portions of new office buildings or additions to existing buildings fronting on Meridian, to be similar in height to the existing buildings, should be at least thirty-five feet or three stories in height. The heights of corridor apartment buildings vary considerably. The maximum permitted height in the D8 District is thirty-five feet. The D9, D10, and C2 Districts have no height limitation. New apartment projects in these districts should be similar in height to nearby existing apartment buildings.

The ground floors of most area apartment buildings in the area are raised four to eight feet above the street pavement. This usually is done by raising the ground floor. New apartment buildings should do the same.

**H.) Security Screens:**

Security screens should be the type that allow views through to the storefront when closed. They should be similar to those used in shopping centers. Security screens should be hidden from view when not in use. Completely opaque security screens, similar to garage

**NEAR NORTH/FALL CREEK**  
**1990 CENSUS - GENERAL CHARACTERISTICS OF HOUSING UNITS**  
**Table 4**

	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
TOTAL HOUSING UNITS	1,490	1,197	2,264	4,951	349,403	3,273
<b>STATUS OF UNITS</b>						
Occupied	1,274	834	1,788	3,896	319,471	
Owner occupied	294	187	157	638	182,039	
Renter occupied	980	647	1,631	3,258	137,432	
Vacant	216	363	476	1,055	29,932	
For sale only	8	40	15	63	3,512	
For rent	67	91	236	394	15,245	
Occasional use	3	0	1	4	800	
Other	138	232	224	594	10,375	
<b>UNITS IN STRUCTURE</b>						
1 unit, detached	434	246	149	829	193,252	
1 unit, attached	238	116	73	427	26,219	
Mobile home or trailer	0	0	0	0	7,160	
2 units	84	153	41	278	9,318	
3-9 units	123	315	321	759	53,470	
10 or more units	579	304	1,669	2,552	56,966	
Other	32	63	11	106	3,018	
<b>HOUSING ROOMS PER UNIT</b>						
1 room/unit	30	57	326	413	4,721	
2 rooms/unit	89	92	537	718	10,855	
3-4 rooms/unit	658	455	1,049	2,162	104,101	
5-6 rooms/unit	519	349	197	1,065	155,567	
7-8 rooms/unit	157	119	67	343	55,877	
9+ rooms/unit	37	125	88	250	18,282	
<b>OWNER OCCUPIED BY VALUE</b>						
Median value	\$30,700	\$34,900	\$76,500		\$61,400	
Mean value	\$32,644	\$38,554	\$83,438		\$72,330	
<b>RENTER OCCUPIED BY CONTRACT RENT PER MONTH</b>						
Median value	\$240	\$241	\$285		\$345	
Mean value	\$274	\$229	\$280		\$352	
<b>PERSONS PER UNIT</b>						
Owner occupied persons/unit	2.70	2.82	2.28		2.66	
Renter occupied persons/unit	2.05	2.26	1.39		2.18	
<b>PERSONS PER ROOM</b>						
0.50 or less	919	545	1,220	2,684	222,265	
0.51 to 1.00	303	234	513	1,050	89,526	
1.01 to 1.50	34	35	19	88	5,730	
1.51 to 2.00	12	13	33	58	1,575	

Any canopy attached to a building, should be made out of canvas or other materials compatible to those on the building, should fit within the building facade, and should reflect the building facade's proportions. They should be a minimum of nine feet above the grade line. They should project no more than five feet into any required yard.

In cases where it is desirable to cover a public sidewalk with a canopy, any canopy supports should be out of the way of pedestrian flow, and the roof should be as transparent as possible. Such canopies should not have side curtains that block the pedestrian flow.

**L.) Marquees:**

Marquees are roof-like projections over building entrances which sometimes contain signs. They provide weather protection for pedestrians and accentuate entries. Marquees should not be permitted in the area.

**M.) Walk-up Windows:**

Exterior walk-up windows are not common in the area. These should not be permitted. Bank machines exist in the area. These should be permitted.

**N.) Outdoor Displays:**

There should be no outdoor commercial products, merchandise, or services displays permitted in the area, except that limited seasonal outdoor displays should be permitted and institutional exhibits should be permitted.

**O.) Miscellaneous Attachments to Facades:**

No item attached to the facade of a building and located above a public sidewalk should extend lower than eight feet above the sidewalk. This includes ornamental lights, awnings, canopies, marquees, roof brackets, and flags.

**NEAR NORTH/FALL CREEK AREA  
1991 CAUSE OF DEATH PER 1,000 RESIDENTS**

Table 6

	Census Tracts			Marion County
	3515	3516	3533	
Septicemia	1.05	0.50	0.32	0.11
Malignant Neoplasm	3.51	4.00	4.10	2.17
Diabetes	0.35	--	0.95	0.19
Heart Disease	5.27	0.50	8.19	2.52
Hypertension	0.35	1.00	0.63	0.04
Cerebrovascular	--	--	0.63	0.49
Arteriosclerosis	--	--	0.63	0.13
Pneumonia	1.40	--	1.26	0.27
Chron. Obstruc. Pulmonary Disease	--	0.50	0.95	0.39
Cirrhosis	--	--	0.63	0.08
Nephritis	--	--	0.63	0.11
Congenital Anomalies	--	0.50	0.32	0.05
Perinatal Conditions	0.35	0.50	--	0.10
Non-Motor Vehicle Accident	--	--	0.95	0.14
Motor Vehicle Accident	--	--	--	0.08
Suicide	--	--	--	0.15
Homicide	0.70	1.00	--	0.14

- 4.) **Wall sign** - A sign which is affixed to an exterior wall of a building and does not extend more than eighteen inches from the front of the building wall. Since wall signs effectively identify businesses but do not block views, they are highly recommended for the area. Wall signs should be compatible in location with the building facades on which they are placed. No wall sign should extend above the roof or parapet line of the building.  
Content on wall signs should be limited to the identification of the business only.  
Product identification signs should be only in the form of window signs.
- 5.) **Rooftop sign** - A sign which is affixed to the roof of a building. Since rooftop signs tend to visually dominate areas in which they are placed and are usually visible only from afar, and since vistas are relatively limited in a densely developed area like Near North/Fall Creek, rooftop signs should not be permitted in this area.
- 6.) **Vertical sign on a building facade** - A sign that runs continuously from the lower level to the upper level of a building, either a projecting sign or a wall sign. Since this type of sign can have the same effect of blocking views as a projecting sign, vertical signs should not be permitted for the area.
- 7.) **Cube sign and other signs with more than two faces** - A sign with more than two faces in the form of a rooftop, projecting, ground, or pole sign. Since these signs are necessarily bigger than a single or double faced sign, they should not be permitted in the area.
- 8.) **Awning sign** - A sign on a fabric structure extended over a building door or window. Awnings may have the name of the business and business address that represents the primary business at that address. Since awnings can combine the functions of signs to identify the business, shade windows, and protect pedestrians from the weather, they are permitted for the area.  
Awnings that have the business name have to be changed when the business changes. Awnings that have only the building street address can still be used when the tenant or the building name changes. In instances where public assistance or development funds are used to acquire awnings, they should have the business address only so that they can still be used when tenants change.
- 9.) **Marquee sign** - A sign on a roof-like projection over entrances. A movie marquee is an example. This type of sign has the same effect of blocking views as a projecting sign. Marquees should not be permitted in this area.
- 10.) **Canopy sign** - A sign on a roof-like projection over a building door or window, or a sign on a fabric structure or roof-like projection suspended or supported over a sidewalk. Canopy signs should be permitted only on canopies that are located at or behind the established building setback line.

**NEAR NORTH/FALL CREEK  
1991 AREA CRIME\*  
1991  
Table 8**

	<b>Beat A11</b>	<b>Beat A19</b>	<b>Beat A20</b>	<b>Beat A21</b>	<b>Total</b>
Murder	0	3	1	0	4
Rape	8	6	11	7	32
Robbery	24	39	48	49	160
Aggravated Assault	37	66	68	47	218
Resident Assault	60	32	72	69	233
Business Burglary	3	19	28	25	75
Larceny	81	66	321	221	689
Vehicle Theft	77	34	100	77	288
1991 Total	290	265	649	495	1699

\*Table 8 presents data for the Indianapolis Police Department's Beats A11, A19, A20, and A21, bounded by 30th, Pennsylvania, Fall Creek, Central, and Interstate 65, which includes Near North/Fall Creek.

C) Sign Construction, Location, and Size:

- 1.) **Materials** - In general, signs should be constructed out of durable materials that are compatible with the surrounding area or the building on which they are placed.
  - a.) **Wooden sign** - A sign constructed primarily of wood or wood products. As long as they are well-maintained, wooden signs are acceptable.
  - b.) **Metal sign** - A sign constructed primarily of metal, either painted or of natural finish. It may be of a continuous sheet or individual letters. Metal signs are acceptable in the area.
  - c.) **Plastic sign** - A sign constructed primarily of plastic, including a plastic face in a metal box. It may be in the form of a continuous sheet or individual letters. Plastic signs are acceptable in the area.
  - d.) **Neon sign** - A sign made of glass tube filled with neon gas which glows when an electric current passes through it. They are usually placed inside store windows, although there are examples of exterior neon. Non-flashing neon signs may be located in commercial areas of the Meridian Corridor and Methodist Vicinity that do not have frontage on Meridian or Fall Creek, do not have a residential district on the opposite side of the street, or are fifty feet or more from an adjacent residential district. Neon signs should not be permitted in the remainder of the area. Neon signs should only be in the form of window signs.
  - e.) **Electronic message sign** - A sign made up of many individual light bulbs set in a grid and electronically controlled to change the message on the sign. Such a sign in general tends to dominate the area in which it is located. Electronic message signs should not be permitted in the area.
  - f.) **Changeable copy sign** - A sign board with lettering that can be manually changed to alter the sign message. These signs are acceptable in C4 Districts in the Corridor, except that these signs should also not be permitted in those areas in which neon signs are prohibited.
  - g.) **Painted sign** - A sign painted directly on the surface of a building wall. When tenants change, however, it can be difficult to remove paint from a building wall. Painted signs should not be permitted in the area.
  - h.) **Apartment buildings** - Residential buildings sometimes have signs made out of the materials that the building is constructed of, such as the building name carved in stone. This type of sign is acceptable in the area.
- 2.) **Sign color** - In general, signs should have colors that are compatible with the immediate environment in which they are placed. Sign lettering should contrast with the background on which it is placed so that it can be read, but it should not contrast so much that it dominates the surrounding environment.

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## EXISTING CONDITIONS

In Near North/Fall Creek, the Official Thoroughfare Plan basically recommends maintenance and improvement of existing streets. There is one recommendation in the Official Thoroughfare Plan for a new street to connect 21st and 22nd Streets between Senate and Illinois. This new street connection is given a "D" priority in the Official Thoroughfare Plan which is the lowest priority assigned. The city at this time does not have any construction schedule for this particular street segment nor does it have any such plans for the foreseeable future. (The long range transportation plan for the Indianapolis Metropolitan Planning Area is currently being updated which will result in a review and reevaluation of all the proposals of the Official Thoroughfare Plan including the proposed 21st/22nd Connector. The update of the long range transportation plan will be completed in the next eighteen to twenty-four months and will include considerable public involvement.)

As would be anticipated, the area's streets carry significant traffic volumes. Rush hour traffic volumes are high due to the area's location between the downtown and northern suburbs and the interchanges with Interstate 65. Traffic remains high throughout the day because of the many trip ends to area businesses and institutions.

Bus and taxi service is available throughout the area. It is particularly good on Capitol Avenue adjacent to the hospital and along Meridian Street, a major bus route.

Interstate 65 can be accessed via interchange with the 29th and 30th Street one-way pair, the 21st Street interchange, and interchanges with Illinois, Meridian, and Pennsylvania at the 11th and 12th Street one-way pair.

Two collector streets in Highland Vicinity are the Boulevard and Highland one-way pair. Some residents have expressed a desire for these streets to be made two-way local streets. The portion of the alley north of 29th Street and south of 30th Street and between Boulevard and Highland is used as a short cut by non-local traffic on the 29th/30th one-way pair and is a hazard to residents. A number of residents also have expressed a desire for developing a means to discourage non-local traffic off this alley.

f) **Incidental sign** - Most incidental signs are smaller than advertising and business signs. They also often serve a number of different functions. The location of incidental signs will be reviewed individually. Incidental signs shall not impede the vision of motorists nor shall they be placed in the street right-of-way.

6.) **Sign size** -

a.) The RC Ordinance states that for the Meridian Corridor: "Business signs shall comply with the sign regulations of Ordinance 71-AO-4, SIGN REGULATIONS of Marion County, Indiana, and be further modified by the following:

- Pole signs shall not exceed 36 square feet per sign face.
- Ground signs shall not exceed 36 square feet per sign face.
- Projecting signs shall not exceed 18 square feet per sign face."

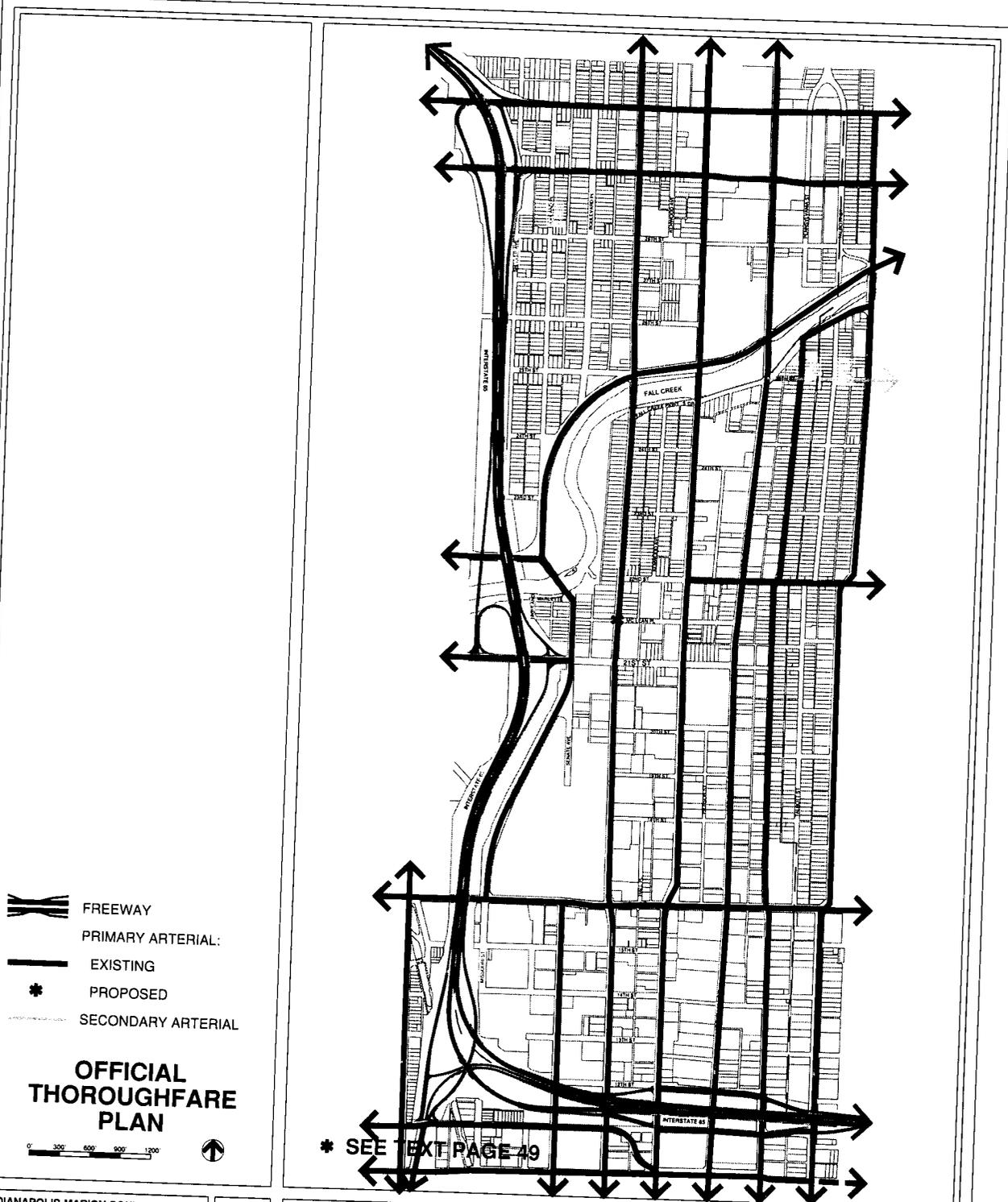
It is recommended that these standards also be applied to pole, ground, and projecting signs in the Methodist vicinity.

- b.) **Wall sign** - Wall signs should not exceed thirty-six square feet per sign face.
- c.) **Window sign** - Permanent window signs may be twenty-five percent of first floor glass area. Temporary window signs may be fifteen percent of first floor glass area.
- d.) **Incidental sign** - Incidental signs should not exceed twelve square feet each for construction signs and four square feet each for all other incidental signs.

7.) **Number of signs** -

- a.) **Corner lot** - One pole or projecting sign (where permitted by the applicable zoning ordinances) and one wall sign, or two ground signs and two wall signs.
- b.) **Interior lot** - One pole or projecting sign (where permitted by the applicable zoning ordinances), or one ground sign and one wall sign, or two wall signs.

As discussed previously, the use of pole and projecting signs should be discouraged, however, they are permitted in certain instances by existing zoning ordinances.



-  FREEWAY
-  PRIMARY ARTERIAL:  
EXISTING
-  PROPOSED
-  SECONDARY ARTERIAL

**OFFICIAL  
THOROUGHFARE  
PLAN**

0' 300' 600' 900' 1200' 

INDIANAPOLIS-MARION COUNTY, INDIANA  
DEPARTMENT OF METROPOLITAN DEVELOPMENT  
PLANNING DIVISION OCTOBER 20, 1993  
NEAR NORTH DEVELOPMENT CORPORATION

**10**

**NEAR NORTH/FALL CREEK**

**D.) Pedestrian lighting:**

The purposes of pedestrian scaled lighting are to illuminate pedestrian ways, provide security, and to enhance the identity of distinctive areas. Security lighting in parking areas is particularly important.

**E.) Banners:**

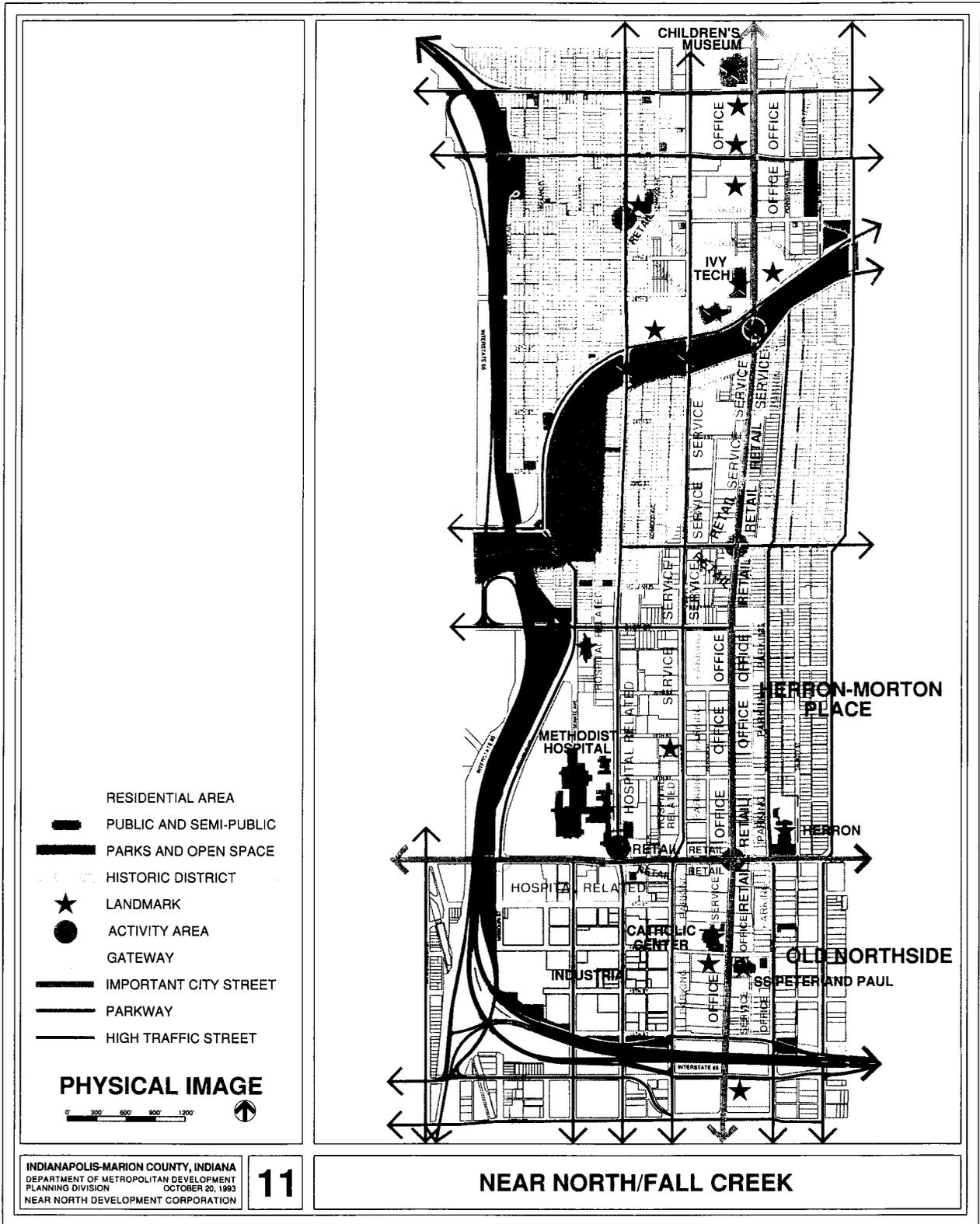
Banners placed on building fronts should fit in with the architecture of the building on which they are placed; they should not dominate the building facade. Banners on building facades should only be temporary in nature and not installed for long term use. Banners placed in yards or the right-of-way should not be placed so that they block significant views along the sidewalk. They should be placed on banner poles that are compatible with other street furniture in the area. Banners on banner poles can be more permanent in nature. The banners should be designed and constructed so that they are durable and will last for the period of time that they are to be displayed. Damaged or dirty banners should be promptly removed. Banners should be of simple design. Text should be held to a minimum.

**F.) Landscaping:**

Plants can be used not only to add beauty and interest to otherwise hard surface non-residential areas but also to clean the air of pollution and to buffer undesirable views, noises, winter winds, and harsh sunlight.

**1.) Street trees -** Trees should be selected on the basis of their durability, height, form, color, and amount of maintenance required. Street trees should be medium or large trees with a single straight trunk to eight feet above ground before branching. They should be planted in the ground and not in containers. Street trees should be planted at a rate of one per thirty feet of street frontage minus the linear footage used for vehicular access. Street trees should be a minimum of three inch caliper at time of planting. See the following lists on Pages A19-A22: Recommended Street Trees, and Recommended Ornamental Trees, Recommended Evergreen Trees, and Recommended Narrow Evergreen Trees. The choice and placement of street trees also may be a part of an overall plan for an area. Near North Development Corporation, for example, may work with area property owners and businesses to develop a tree planting plan along a major street.

**2.) Shrubs -** Shrubs should be selected on the basis of their durability, height, form, color, and amount of maintenance required. Shrubs used for screening should have dense growth and should be at least twenty-four inches high at time of planting (unless required by the RC Ordinance to be thirty-six inches in height at the time of planting). See Page A23, Recommended Low Shrubs.



- Chain-link fence
- Fences topped with concertina or razor ribbon wire
- Earth berms
- Railroad ties or landscape timbers
- White marble chips, lava rock, or crushed limestone mulch
- Topping of trees or pruning of trees into geometric shapes
- Front-yard parking

H.) **Streetscape components that are inappropriate for the area:**

The RC Ordinance standards for screening and landscaping should apply to the remainder of the area except that the plant material screen shall be at least twenty-four inches in height at time of planting.

spacing of thirty feet on center or less, depending on species. The trees should be at least three inch caliper at time of planting. The ground area between such wall, fence, or hedge and the front lot line shall be planted and maintained in grass, other suitable ground cover, or shrubbery. All shrubs and trees should be planted balled and burlapped.

## ASSETS AND LIABILITIES

Planning Division staff and Near North Development Corporation conducted two opinion surveys in the Near North/Fall Creek area. The first is the Problems/Issues Survey of neighborhood residents. It was distributed at the August and September, 1992 meetings with Highland Vicinity and Meridian-Highland. The rankings the problems/issues received are provided on the following page, with "1" being highest and "13" being lowest in priority. Also listed are additional write-in comments that were received.

The second survey is the Survey of Area Employers. It was mailed in October, 1992 to area businesses and organizations that are members of Near North Development Corporation. The rankings that the issues received are provided, with "1" being the highest. Also included is statistical information on the composition of area organizations.



*Housing Rehab in Meridian-Highland*

- These maintenance standards also should be applied to the Methodist Hospital Vicinity.
- Building exteriors including awnings, porches, hardware and windows shall be properly maintained, kept clean, painted and in good repair."
  - Walks, steps, drives and parking lots including surfaces and edges shall be maintained in a safe, functional and clean condition. Chuckholes, in parking lots, broken curbs and crumbling sidewalks shall be repaired to original condition.
  - Shrubbery, trees, ground cover and planting beds shall be maintained in a safe, functional, and aesthetic condition.
  - All lawns; required front, rear and side yards shall be regularly mowed during growing season, and shall be free of weeds, trash, and litter at all times.
  - Inoperable vehicles and any related parts shall be screened and stored in an enclosed space.
  - Equipment and supplies such as tires, parts, machinery, tools and the like shall be screened and stored in an enclosed space.
  - All trash containers/dumpsters shall be screened from frontage views.

The RC Ordinance includes the following minimum maintenance standards for screening and landscaping areas for the Meridian Corridor:

**F.) Minimum Maintenance Guidelines for Screening and Landscaping Area:**

Buildings such as maintenance buildings, garages, and carports should only be placed in a side or rear portion of properties and should be compatible in style, color, materials, and scale to the buildings they serve.

**E.) Accessory buildings:**

The RC Ordinance states that for the Meridian Corridor that: "All trash containers/dumpsters shall be screened from frontage views. Equipment and supplies such as tires, parts, machinery, tools and the like shall be screened or stored in an enclosed space." Inoperable vehicles and any related parts shall be screened or stored in an enclosed space. These standards also should be applied to the remainder of the area.

Off-street loading shall be provided for non-residential uses in the area in accordance with the requirements of the zoning ordinances. Trash storage facilities, such as dumpsters, should be completely screened from surrounding views with architectural or plant material screens.

**D.) Storage, Loading, Service, Trash Removal:**

Barbed, concertina, or razor ribbon wire topped fences should be permitted only in rare instances and where they are out of the public view.

**SURVEY OF AREA EMPLOYERS**  
**Table 11**

Following are selected survey results, presented by order of importance, and the number of responses for each. Also following is selected data on facility operations and conditions.

A. The important issues that area employers will be facing in the next ten years, by order of importance, are the following:

(Rank)	(Number of Responses)
1. Hiring competent employees	<u>39</u>
2. Maintaining facilities and equipment	<u>32</u>
3. Finding clients for my services or products	<u>30</u>
4. Complying with government regulations	<u>27</u>
5. Competition from organizations that can offer services or products at lower prices	<u>22</u>
6. Expanding facilities	<u>10</u>
7. Reducing facilities (finding tenants or buyers)	<u>3</u>
Others: <u>National economy, health insurance costs</u>	
<u>cost of technology, property taxes/assessment</u>	
<u>growth of government, relationships among</u>	
<u>internal activities, office automation</u>	

B. The projects that area employers would like to see developed, by order of importance, are the following:

(Rank)	(Number of Responses)
1. Remove or maintain vacant buildings and property	<u>41</u>
2. Attract new development	<u>32</u>
3. Provide street landscaping	<u>20</u>
4. Improve streets and sidewalks	<u>19</u>
5. Develop new parks and open space	<u>16</u>
6. Improve street lighting	<u>12</u>
7. Improve vehicular circulation	<u>11</u>
7. Improve sewers	<u>11</u>
9. Provide assistance with site and facility expansion	<u>9</u>
10. Provide additional parking	<u>8</u>
Others: <u>Attract housing, school, retail;</u>	
<u>clean up Fall Creek; reuse Sheraton</u>	

**RECOMMENDED STREET TREES**  
 TYPICAL SIZE AT TIME OF PLANTING: 2 1/2 INCH CALIPER  
 Table A1 Cont'd.

BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)
<i>Ginkgo biloba</i> (male only)	Ginkgo	'Lakeview'	45
		'Princeton Sentry'	60
<i>Pyrus calleryana</i>	Callery Pear	'Aristocrat'	40
		'Redspire'	35
<i>Quercus coccinea</i>	Scarlet Oak		60
<i>Quercus rubra</i>	Red Oak		65
<i>Quercus shumardii</i>	Shumard Oak		50
<i>Sophora japonica</i>	Japanese Pagoda-tree	'Regent'	50
<i>Tilia americana</i>	American Linden	'Redmond'	35
<i>Tilia cordata</i>	Littleleaf Linden	'Chancellor'	35
		'Glenleven'	45
		'Greenspire'	40
<i>Tilia x euchlora</i>	Crimean Linden		45
<i>Tilia tomentosa</i>	Silver Linden	'Sterling'	45
<i>Ulmus parvifolia</i>	Lacebark Elm		50
<i>Zelkova serrata</i>	Japanese Zelkova	'Green Vase'	50
		'Village Green'	45

Average hourly wage: \$9.20 (not including Methodist).

How number of employees at site changed over the last five years:  
Increased 40.4% Decreased 23.1% Remained the same 36.5%

How number of employees at site will change over the next five years:  
Increase 50.0% Decrease 9.6% Remain the same 40.4%

Percent of full capacity is this facility currently operating:  
0%-50% 5.8% 50%-75% 26.9% 75%-90% 23.1% 90%-100% 44.2%

Existing site: 1.98 acres (not including Methodist).  
Site needed: 2.09 acres (not including Methodist). (Averages)

Existing parking spaces: 83 (not including Methodist).  
Parking spaces needed: 108 (not including Methodist). (Averages)

Can expand building/facility at present site: 44.0%.  
Can you expand production capacity at present site: 77.1%.

Past five year investments: \$1,052,721 facilities (not including Methodist),  
\$585,089 equipment (not including Methodist). (Averages)

<b>RECOMMENDED NARROW EVERGREEN TREES</b> TYPICAL SIZE AT TIME OF PLANTING: 4 FEET HIGH, PLANTED 6 FEET ON CENTER <b>Table A4</b>				
BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)	SPREAD (FEET)
<i>Juniperus chinensis</i>	Keteleeri Juniper	'Keteleeri'	20-30	5-10
<i>Taxus cuspidata</i>	Japanese Yew	'Capitata'	25	10-12
<i>Thuja occidentalis</i>	American Arborvitae	'Nigra'	20-30	5-10
		'Techny'	8	4-5

<b>RECOMMENDED EVERGREEN TREES</b> TYPICAL SIZE AT TIME OF PLANTING: 6 FEET HIGH, PLANTED 25 FEET ON CENTER IN TWO STAGGERED ROWS <b>Table A3</b>				
BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)	SPREAD (FEET)
<i>Abies concolor</i>	White Fir		30-50	15-30
<i>Picea abies</i>	Norway Spruce		40-60	25-30
<i>Picea pungens</i>	Colorado Green Spruce		30-60	10-20
<i>Pinus nigra</i>	Austrian Pine		50-60	20-40
<i>Pinus resinosa</i>	Red Pine		50	35
<i>Pinus strobus</i>	White Pine	'Fastigiata'	50-75	20-35
<i>Thuja plicata</i>	Western Arborvitae	'Astrovirens'	50-70	15-25
<i>Tsuga caroliniana</i>	Carolina Hemlock		45-60	20-25

APPENDIX A: DESIGN GUIDELINES

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## ASSETS AND LIABILITIES

- 5.) There are well-organized business and resident groups that provide a forum to identify and discuss community problems and interests and to support community projects.
- 6.) The area possesses a number of historically significant commercial buildings.
- 7.) The majority of business establishments have adequate parking.

### Liabilities:

- 1.) Neighborhood oriented commercial establishments are suffering from deteriorated conditions. Some appear marginal and unable to compete with businesses at shopping centers.

Residents have expressed desires for a supermarket and a drug store. Some do not have access to the more distant shopping centers. The survey of area employers also identified interest for additional restaurants and shops.

- 2.) A number of residential properties along Illinois Street have been converted to parking lots for Meridian Street establishments. This has been accomplished to the detriment of remaining residents.
- 3.) Some parking lots are inappropriately located, particularly those lots on Meridian Street which are located in front yards or on corner lots.
- 4.) A number of parking lots have inadequate landscaping.
- 5.) Some businesses use chain link/barbed wire fences to secure their properties.
- 6.) There is congestion along Meridian Street and some difficulty for recirculation which helps to discourage business customers.
- 7.) The improper reuse of vacant properties, including particularly those along Illinois, Meridian, Pennsylvania, 21st, 22nd, and 30th, is a major concern.
- 8.) Portions of Meridian Street, especially between 21st and Fall Creek, are characterized by very low intensity of development, with small scale buildings surrounded by large parking lots and interspersed with vacant lots. Some sites have a building floor area to site area of .1 or less. By contrast some of the larger office uses south of 18th Street and north of 27th Street have a building to site ratio of .5 or five times the intensity of development of the above areas.
- 9.) The survey of area employers found that about 56 percent of businesses do not have adequate building/facility to expand.

*Highland Vicinity Resident*



- 5.) Near North has been assisting housing rehab in Meridian-Highland for many years and recently has expanded its efforts to Highland Vicinity.
- 6.) Kenwood Place and Weyerbacher Terrace provide for elderly housing in the area.
- 7.) The Herron-Morton and Old Northside portions of the area are listed on the National Register of Historic Places and are protected from improper development as Local Historic Areas. Many of the homes in these areas have been or are being restored. A number of individual buildings also are listed on the National Register, and a further number as well appear to be eligible for the National Register. These designations have shown potentials for increased reinvestment and enhanced image within the city.
- 8.) There are well-organized, resident-based groups which provide a forum to identify and discuss community problems and interests with support to community projects. These groups also support and promote Crime Watch programs.
- 9.) Apartment buildings are generally well-maintained. Many have been restored to their former elegance to take advantage of federal tax credits.

**Liabilities:**

- 1.) Certain areas have a relatively high crime rate, although rates are lower in Highland Vicinity and Meridian-Highland.
- 2.) The building condition survey shows some housing stock in the Meridian-Highland and Highland Vicinity areas to be suffering from deterioration due to owners' lower incomes, a higher percentage of elderly, the general age of structures, encroachment by Meridian Street institutions and commercial establishments, and the relative lack of rehab funds. 34.4 percent of single-family structures, 50 percent of duplexes, and 30.8 percent of apartments are in need of rehabilitation.
- 3.) Some housing along Pennsylvania Street between Fall Creek and 16th Street also appears to be under the same blighting influences. There is also much vacant land along Pennsylvania Street resulting from clearance of dilapidated housing and Meridian Street businesses reserving land for future expansion.
- 4.) There are general environmental problems scattered throughout the area including inadequate screening of certain disruptive activities, inappropriate fencing, deteriorated sidewalks and curbs, and vacant lots overgrown with weeds.
- 5.) Some homeowners feel that there are too many rental properties, that some rental properties are not adequately maintained, and tenants are not properly managed.

APPENDIX B: DEMOGRAPHIC PROFILE

NEAR NORTH/FALL CREEK  
 1990 CENSUS - GENERAL DEMOGRAPHICS  
 TOTAL PERSONS, SEX, RACE, AND AGE  
 Table B2

Area Census Tracts	Near North/ Fall Creek	
	Marion County	Fall Creek
TOTAL PERSONS	2,845	5,078
Male	1,238	2,382
Female	1,607	2,696
Percent Female	56.5%	53.1%
RACE		
White	280	1,351
Black	2,548	3,676
Other	17	51
Percent Black	89.6%	72.4%
MEDIAN AGE	32.0	33.0
RACE BY AGE		
Under 5 years	250	595
5-17 years	533	1,136
18-64 years	1,550	4,830
65 years and over	512	1,463
Percent under 5 years	8.8%	7.4%
Percent 5-17 years	18.7%	14.2%
Percent 18-64 years	54.5%	60.2%
Percent 65 years and over	18.0%	11.6%
WHITE		
Under 5 years	3	50
5-17 years	10	78
18-64 years	240	1,622
65 years and over	27	380
BLACK		
Under 5 years	246	540
5-17 years	521	1,048
18-64 years	1,299	3,143
65 years and over	482	1,077
OTHER		
Under 5 years	1	5
5-17 years	2	10
18-64 years	11	65
65 years and over	3	471
TOTAL	2,845	797,159
Area Census Tracts	3515	3533
Totals		

- 3.) This section of the Fall Creek Corridor is a potential recreational asset to tie into trail improvements further north on Fall Creek and to potential improvements to the Monon Corridor, the Canal, and White River.

**Liabilities:**

- 1.) Barton Park facilities need some refurbishment. Residents are concerned that the alley along the east edge of the park is in disrepair as is the fence along it. Where the fence ends near the south end of the park is also the site of illegal dumping. Play equipment is in disrepair. Brush and poison ivy need to be cleared.
- 2.) The Fall Creek corridor is suffering from lack of a long-term maintenance and refurbishment program. There is a need to clean undesirable vegetation and deadwood and to plant shade trees and native vegetation. Residents and businesses both have expressed a desire for Fall Creek itself to be periodically dredged and cleared of debris.
- 3.) Important streets, such as Meridian Street, have not been given any special design and landscape treatment.

**INDUSTRIAL**

**Assets:**

- 1.) The southwest portion of the area, generally bounded by I65, Illinois, and 16th, is the Near North Industrial Park, a renewal district, that includes areas for industrial uses.
- 2.) The area possesses good locational factors for industrial development and research and development activities (especially for health and medical technology) due to its adjacency to I65 and major truck routes, downtown, and Methodist and IU hospitals.
- 3.) The area possesses a number of historically significant industrial buildings.

**Liabilities:**

- 1.) There are a number of underused or vacant industrial buildings.
- 2.) The area is similar to many in-city sites which typically have difficulties for developers to assemble land or acquire property for expansion.

NEAR NORTH/FALL CREEK  
 1990 CENSUS - GENERAL DEMOGRAPHICS  
 PERSONS IN HOUSEHOLDS  
 Table B4

	3515	3516	3533	Tract	County	Near North/ Fall Creek
TOTAL PERSONS IN HOUSEHOLDS	2,805	1,987	2,627	7,419	782,830	
In family households	2,011	1,424	955	4,390	644,041	
Householder	571	365	356	1,292	205,652	
Spouse	184	123	177	484	150,965	
Child	886	632	322	1,840	237,402	
Grandchild	146	119	22	287	15,905	
Other relative	146	79	48	273	19,980	
Nonrelative	78	106	30	214	14,137	
In nonfamily households	794	563	1,672	3,029	138,789	
Householder living alone	637	406	1,227	2,270	93,696	
Householder not living alone	66	63	205	334	20,123	
Nonrelative	91	94	240	425	24,970	
PERSONS UNDER 18 YEARS	783	618	311	1,712	202,436	
Householder or spouse	0	1	1	2	230	
Other relative	759	587	297	1,643	197,693	
Nonrelative	24	30	13	67	4,513	
PERSONS PER HOUSEHOLD	2.20	2.38	1.47		2.45	
PERSONS PER FAMILY	3.39	3.61	2.60		3.06	
PERSONS IN GROUP QUARTERS	40	18	541	599	9,725	4,604
Institutionalized						
Other						

**Liabilities:**

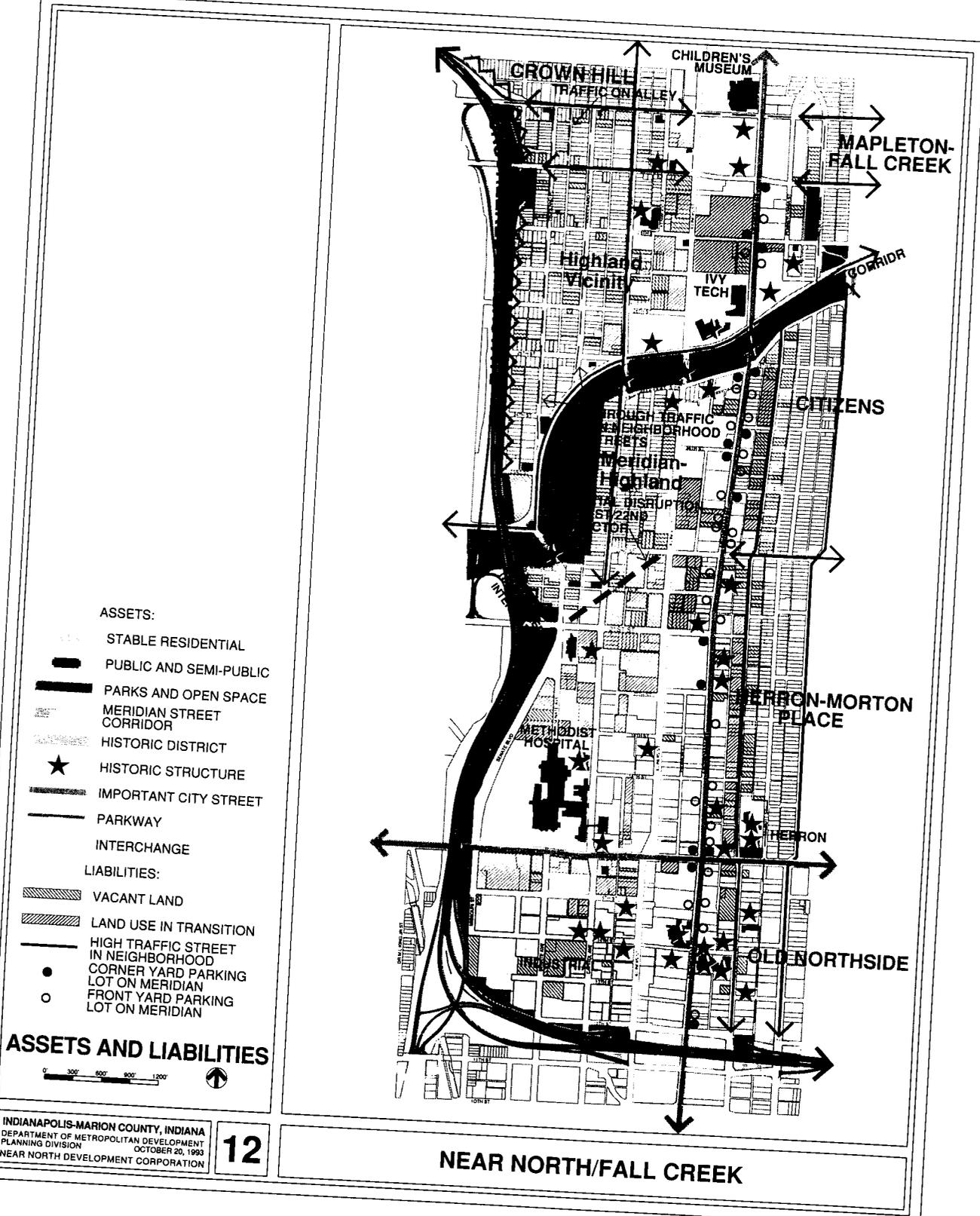
- 1.) Heavy rush hour traffic volumes move through the area. There is some congestion on Meridian Street.
- 2.) Scattered sidewalks and curbs are deteriorated.
- 3.) Residents consider non-local traffic on the Boulevard and Highland one-way pair to be detrimental to their area.
- 4.) Residents consider non-local traffic on the alley between Boulevard and Highland south of 30th Street to be detrimental to their area.
- 5.) On-street parking interferes with views to many Meridian Street buildings and creates safety problems along the street and at a number of intersections of east-west side streets and drives with Meridian.
- 6.) A number of off-street parking lots lack proper landscaping. Land devoted to parking lots could be reused for more active land uses.



*Meridian Street at 12th Street looking south toward Downtown*

**NEAR NORTH/FALL CREEK  
1990 CENSUS - CHARACTERISTICS OF HOUSING UNITS  
TOTAL HOUSING UNITS AND STATUS OF UNITS**

	Area Census Tracts	3516	3533	Totals	Tract	349,403	3,273
	3515	3516	3533	Totals	Tract	County	Fall Creek
<b>TOTAL HOUSING UNITS</b>	1,490	1,197	2,264	4,951	319,471	182,039	137,432
<b>STATUS OF UNITS</b>							
Occupied	1,274	834	1,788	3,896	1,274	638	1,631
Owner occupied	294	187	157	638	294	157	187
Renter occupied	980	647	1,631	3,258	980	481	1,444
Percent owner occupied	23.1%	22.4%	8.8%	16.4%	980	43.0%	57.0%
Percent renter occupied	76.9%	77.6%	91.2%	83.6%	2,294	137,432	137,432
Vacant	216	363	476	1,055	29,932	29,932	29,932
For sale only	8	40	15	63	3,512	3,512	3,512
For sale less than 6 months	4	0	2	6	2,098	2,098	2,098
For sale 6 months or more	4	40	13	57	1,414	1,414	1,414
For rent	67	91	236	394	15,245	6,958	8,287
For rent less than 2 months	16	32	123	171	6,958	6,958	6,958
For rent 2 months or more	51	59	113	223	8,287	8,287	8,287
Occasional use	3	0	1	4	800	800	800
Other	138	232	224	594	10,375	10,375	10,375
Percent vacant	14.5%	30.3%	21.0%	21.3%	10,375	8.6%	1.9%
Percent vacant for sale only	2.6%	17.6%	8.7%	9.0%	1,932	1.9%	1.9%
Percent vacant for rent	6.4%	12.3%	12.6%	10.8%	10,375	10.0%	10.0%



**NEAR NORTH/FALL CREEK  
1990 CENSUS - CHARACTERISTICS OF HOUSING UNITS  
VALUE OF OCCUPIED HOUSING UNITS**

Area Census Tracts 3515 3516 3533  
Tract Marion County Near North/  
Fall Creek

OWNER OCCUPIED BY VALUE			
Less than \$20,000	64	33	4
\$20,000 - \$39,999	132	59	12
\$40,000 - \$59,999	48	34	21
\$60,000 - \$74,999	10	13	17
\$75,000 - \$99,999	4	7	45
\$100,000 - \$149,999	1	2	17
\$150,000 - \$199,999	0	1	8
\$200,000 - \$249,999	1	0	2
\$250,000 - \$299,999	0	0	1
\$300,000 - \$399,999	0	0	1
\$400,000 - \$499,999	0	0	0
\$500,000 or more	0	0	0
Median value	\$30,700	\$34,900	\$76,500
Mean value	\$32,644	\$38,554	\$83,438
RENTER OCCUPIED BY CONTRACT RENT PER MONTH			
Less than \$150	246	160	179
\$150 - \$249	251	165	301
\$250 - \$349	196	180	838
\$350 - \$449	77	99	239
\$450 - \$549	115	6	19
\$550 - \$649	31	5	15
\$650 - \$749	19	0	5
\$750 - \$999	2	0	3
\$1,000 or more	5	0	0
Median value	\$240	\$241	\$285
Mean value	\$274	\$229	\$280
RENTER OCCUPIED BY CONTRACT RENT PER MONTH			
Less than \$150	246	160	179
\$150 - \$249	251	165	301
\$250 - \$349	196	180	838
\$350 - \$449	77	99	239
\$450 - \$549	115	6	19
\$550 - \$649	31	5	15
\$650 - \$749	19	0	5
\$750 - \$999	2	0	3
\$1,000 or more	5	0	0
Median value	\$240	\$241	\$285
Mean value	\$274	\$229	\$280

Totals 101 203 32,534 37,905 26,716 30,843 16,397 4,938 1,711 1,053 868 348 418 \$61,400 \$72,330

## GOALS

The following goals set the desired general direction for development of the corridor.

### **COMMERCIAL GOAL:**

To increase the vitality of the corridor's commercial uses and areas (office and retail/service) by working with the public and private sectors to provide adequate incentives and design guidelines for the establishment, maintenance, and improvement of establishments, both in renovation and new construction.

### **RESIDENTIAL GOAL:**

To improve and enhance the corridor's existing housing stock in neighborhoods in which the corridor is located, with attention to both the neighborhoods' historic character and proper use.

### **PUBLIC AND SEMI-PUBLIC GOAL:**

To integrate institutions' expansion into the overall corridor development by monitoring development plans and cooperating with area institutions on elements of land use and design.

### **PARKS AND OPEN SPACE GOAL:**

To improve park facilities and open spaces to benefit corridor residents and visitors.

### **INDUSTRIAL GOAL:**

To assist the redevelopment of the area for existing industrial activities and for new research and technology activities that relate to the health and medical communities and to medical technology.

### **TRANSPORTATION GOAL:**

To maintain the existing overall transportation system and to enhance intra-area movement to better serve and complement the area's character.

### **APPEARANCE GOAL:**

To develop a prominent and unified image for the area with residential/institutional/commercial/industrial components.

NEAR NORTH/FALL CREEK  
 1990 CENSUS - CHARACTERISTICS OF HOUSING UNITS  
 PERSONS IN OCCUPIED HOUSING UNITS

Table B10

Area Census Tracts 3515 3516 3533 Tract Totals County Marion Near North/  
 Fall Creek

PERSONS IN OCCUPIED HOUSING UNITS	2,805	1,987	2,627	7,419	782,830
Owner occupied	793	527	358	1,678	483,796
Units with 1 person	96	53	46	195	36,831
Units with 2 people	69	51	59	179	64,221
Units with 3 people	59	31	32	122	33,589
Units with 4 people	30	18	10	58	29,158
Units with 5 + people	40	34	10	84	18,240
Percent owner occupied	12.1%	10.1%	12.8%	11.6%	7.6%
Persons/unit	2.70	2.82	2.28	5,741	299,034
Renter occupied	2,012	1,460	2,269	5,741	299,034
Units with 1 person	541	353	1,181	2,075	56,865
Units with 2 people	183	95	330	608	38,301
Units with 3 people	97	62	79	238	19,523
Units with 4 people	73	50	26	149	12,980
Units with 5 + people	86	87	15	188	9,763
Percent rental occupied	26.9%	24.2%	52.0%	36.1%	19.0%
Persons/unit	2.05	2.26	1.39	2.18	2.45
OVERALL PERSONS/UNIT	2.20	2.38	1.47	2.45	2.45
PERSONS PER ROOM	919	545	1,220	2,684	222,265
0.50 or less	303	234	513	1,050	89,526
0.51 to 1.00	34	35	19	88	5,730
1.01 to 1.50	12	13	33	58	1,575
1.51 to 2.00	6	7	3	16	375
2.01 or more	6	7	3	16	375
Units with more than one person per room	4.1%	6.6%	3.1%	4.2%	2.4%
PERSONS IN GROUP QUARTERS	40	18	547	605	14,329
Percent	1.4%	0.9%	17.2%	7.5%	1.8%

## **RECOMMENDATIONS**

The recommendations are directed to accomplishing the goals, to addressing Near North/Fall Creek's problems, and protecting and reinforcing its important resources. The recommendations that follow are presented by the major activity components.

The recommendations for Commercial, Residential, Public and Semi-Public, Parks and Open Space, Industrial, and Research and Technology are interrelated in the Land Use Plan which in addition to describing the recommendations for land use for individual properties also shows the desired overall development pattern.

Major activity areas will continue to function similar to their current roles. Meridian, 16th, 21st, 22nd, and the vicinity of Methodist Hospital will continue to be developed predominately by non-residential uses that relate to Methodist and Near North/Fall Creek's adjacency to downtown and I65. Meridian Street, over time, will develop a stronger and more prestigious role as a high quality office and office-apartment district as less intensely developed properties along its length are revitalized. The development pattern along 16th, 21st, and 22nd Streets will be intensified through the implementation of mixed-use projects, and individual buildings interrelated with each other through the application of appropriate design guidelines. A renewed retail area at Meridian, 21st, and 22nd will increase services for both residents and visitors.

Residential areas will be revitalized, and their edges with other use districts will be stabilized, so that non-residential intrusions into housing areas are minimized.

The Near North Industrial Park will see a much expanded role in support of Methodist as the hospital continues its growth, and an expanded role in medical technology in support of both Methodist and nearby IU hospitals.

Following those recommendations are the Transportation Recommendations which are directed to supporting the overall major street system while helping to reduce the impacts of non-local traffic on residential areas. Lastly are the Appearance Recommendations, which are focused on helping improve the physical form and appearance of Near North/Fall Creek, including the potentials that can be realized for protecting and enhancing the Meridian Street Corridor's unique character.

NEAR NORTH/FALL CREEK  
 1990 CENSUS - INCOME CHARACTERISTICS  
 1989 POVERTY STATUS, HOUSEHOLD INCOME SOURCES\*  
 Table B12

Area Census Tracts		Area Census Tracts		Area Census Tracts	
Tract	Totals	3515	3516	3533	Totals
Marion County	Marion County	3515	3516	3533	Totals
Near North/ Fall Creek	Near North/ Fall Creek	3515	3516	3533	Totals
1989 POVERTY STATUS OF PERSONS					
Income below poverty	94,131	1,366	943	899	3,208
Income 100 - 124% of poverty	32,289	190	254	218	662
Income 125% + of poverty	654,229	1,227	793	1,572	3,592
PERSONS BELOW 1989 POVERTY LEVEL BY RACE					
TOTAL PERSONS	94,131	1,366	943	899	3,208
White	49,442	20	32	318	370
Black	43,095	1,346	898	581	2,825
Other	1,594	0	13	0	13
HOUSEHOLDS BELOW 1989 POVERTY LEVEL					
TOTAL HOUSEHOLDS	35,837	536	378	615	1,529
BELOW POVERTY					
BY HOUSEHOLD TYPE					
Family	19,334	256	151	117	524
Married couple	6,005	47	0	0	47
Male, no wife	1,090	7	4	19	30
Female, no husband	12,239	202	147	98	447
Nonfamily	16,503	280	227	498	1,005
BY AGE OF HOUSEHOLDER					
Householder aged 15 - 64	27,346	323	289	533	1,145
Householder aged 65 +	8,491	213	89	82	384
PERSONS IN HOUSEHOLDS RECEIVING PUBLIC ASSISTANCE					
Younger than 15 years	19,738	289	217	72	578
15 - 64 years	32,985	429	263	202	894
65 years or over	6,525	126	73	41	240
HOUSEHOLD INCOME SOURCES					
Number of households with the following types of income					
Earnings	263,850	731	484	1,465	2,680
Wage/salary	258,276	702	484	1,436	2,622
Self-employment	33,903	77	21	201	299
Interest, dividend, or net rental	120,453	219	137	391	747
Social security income	77,619	463	277	309	1,049
Public assistance	18,625	270	157	195	622
Other income	78,783	245	211	231	687

\*Numbers in this table are estimates based on sample, not complete, counts of census data and may differ from the data of other tables of this report which contain the complete census counts.

## RECOMMENDATIONS

- 7.) Support the development of a viable commercial center at 21st, 22nd, and Meridian Streets. As a first step to accomplishing this, Near North should prepare an update of its market study for this area. This area also may be appropriate as a part of a private or city redevelopment district in conjunction with Recommendation 5 on Page 74.
- 8.) Support the redevelopment of 16th Street as a commercial retail/service corridor with compatible uses and a coordinated development pattern, through private action and through implementation of the Design Guidelines (see Design Guidelines in the Implementation section), and at a higher level of intensity to include where feasible office or office/apartment development.
- 9.) Encourage the development of integrated shopping centers; discourage free-standing commercial retail and service, especially fast food and convenience uses.
- 10.) Support selective acquisition of marginal or vacant businesses in residential areas for reuse of the land for housing.
- 11.) Encourage Meridian Street businesses to develop and organize any of their parking facilities along the west side of Pennsylvania and the east side of Illinois that are opposite residential so that primary access is off mid-block alleys or east-west side streets and the facilities are properly landscaped.



*Meridian Street Office Buildings*

APPENDIX C: SURVEY OF AREA EMPLOYERS

14. At what percent of full capacity is this facility currently operating?  
 0%-50% 5.8% 50%-75% 26.9% 75%-90% 23.1% 90%-100% 44.2%

15. What is the current floor area your organization occupies? 35,881 Square Feet (not including Methodist)

16. A. What is the size of your present site? 1.98 Acres  
 B. What size site do you need? 2.09 Acres (not including Methodist)

17. A. How many parking spaces do you have? 83 Spaces  
 B. How many parking spaces do you need? 108 Spaces (not including Methodist)

18. A. Can you expand your building/facility at your present site? Yes 44.0% No 56.0%  
 B. Can you expand your production capacity at your present site? Yes 77.1% No 22.9%

19. Have you invested in facilities or equipment in the last five years?  
 \$ 1,052,721 Facilities \$ 585,089 Equipment (not including Methodist)

20. Do you intend to invest in facilities or equipment in the next five years?  
 \$ 163,714 Facilities \$ 407,868 Equipment (not including Methodist)

21. The most important issues that I will be facing in the next ten years are: (Select top four)

A. Expanding facilities	6	10
B. Reducing facilities (finding tenants or buyers)	7	3
C. Competition from organizations that can offer services or products at lower prices	5	22
D. Hiring competent employees	1	39
E. Maintaining facilities and equipment	2	32
F. Complying with government regulations	3	27
G. Finding clients for my services or products	4	30
H. Other: National economy, health insurance costs, cost of technology, property taxes/assessment, growth of government, office automation.		
I. Other: _____		

22. I would like to see projects developed which would: (Select top four)

A. Provide assistance with site and facility expansion	9	9
B. Improve streets and sidewalks	4	19
C. Improve street lighting	6	12
D. Provide street landscaping	3	20
E. Remove or maintain vacant buildings and property	1	41
F. Provide additional parking	10	8
G. Develop new parks and open space	5	16
H. Improve vehicular circulation	7	11
I. Improve sewers	7	11
J. Attract new development	2	32
K. Other: Attract housing, school, retail; clean up Fall Creek; reuse Sheraton		

To accomplish this higher level of rehab and construction, Near North's capacity should be expanded, with government assistance, so it can rehab approximately five structures per year and assist in approximately five paint-up/fix-up type projects per year for Meridian-Highland and rehab approximately ten structures per year and assist in approximately ten paint-up/fix-up type projects per year in Highland Vicinity, a total of about fifteen rehab projects and fifteen paint-up/fix-up projects per year for the next five years and approximately seventy-five rehabs and seventy-five paint-up/fix-ups in the five year period.

Near North, over the next ten year period, should construct or help sponsor approximately 130 units of new housing. This new housing should be compatible in density and appearance with surrounding existing housing. The city should assist Near North in acquiring and preparing appropriate sites for new housing.

Thirty units should be single-family or duplex units scattered throughout the two neighborhoods on vacant lots or properties of non-residential uses that should be purchased (and the uses relocated out of residential areas). In Highland Vicinity there is land available for approximately twenty units, and in Meridian-Highland for approximately ten units. This infill housing should be predominantly owner-occupied.



*Housing Rehab in Highland Vicinity*

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Indianapolis, 1990.

which there are many in Near North, also be approached to participate in such a program.

The objectives for this program would be to accomplish about two-thirds the overall rehab and paint-up/fix-up efforts of Near North over the next five year period, by rehabbing approximately fifteen units in Meridian-Highland and thirty-five units in Highland Vicinity and accomplishing fifteen paint-up/fix-up projects in Meridian-Highland and thirty-five projects in Highland Vicinity. These objectives could be achieved either by direct rehab projects by the Adopt-A-Block participants, by grants and loans to homeowners and private developers, or by grants and loans to Near North so that it can further expand its housing activities.

Citizens Neighborhood Coalition and UNWA also should investigate the potential for developing such a program in their areas.

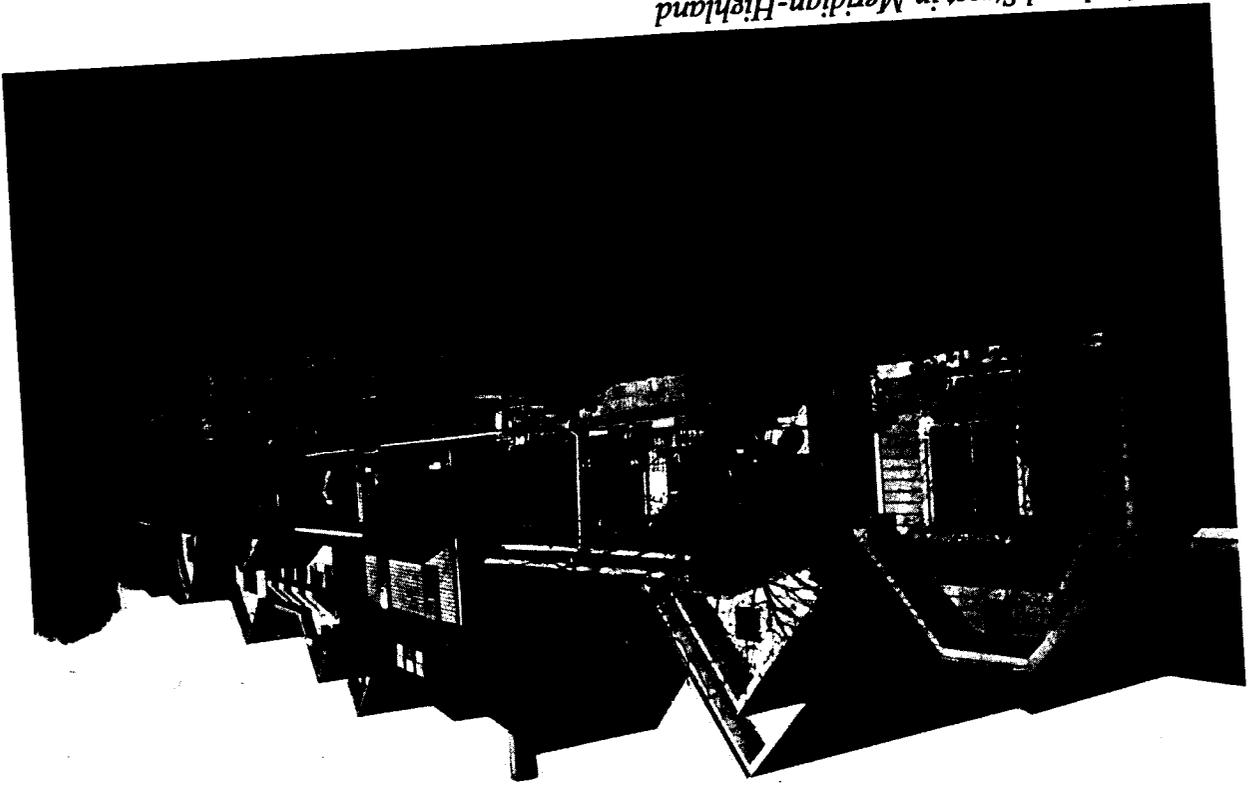
Support for these projects and programs will as mentioned in the preceding require increased government and institutional funding.

Over the five year period, as Near North and area participants in the Adopt-A-Block program are continuing with their work, a number of homeowners in both Highland Vicinity and Meridian-Highland will be upgrading their own homes, either through normal maintenance or through more extensive home repairs or full rehabilitation so that a significant number of homes are improved. Much of this private effort will be stimulated and supported by the work of such groups as the Indianapolis Neighborhood Housing Partnership which also has been working in the area (see the following listing of programs that INHP and others use now or could potentially use to assist neighborhood and housing revitalization). The areas also will likely see increased investment and rehabilitation work by private companies attracted to the area in part by the increased housing improvement work of Near North, INHP, and other groups. The work of all these groups should be continually encouraged and supported by government and institutions.

(Recommendations 3 and 4, if fully realized in the five year period, including participation by home owners and private developers through normal home improvement and rehab efforts, would result in substantial housing rehabilitation in the two neighborhoods. In Highland Vicinity it would result in approximately sixty percent of housing units needing rehabilitation being brought up to standard condition in the five year period. In Meridian-Highland it would result in the five year period in approximately eighty-five percent of units needing rehab being brought up to standard condition in the five year period. Map 7 on Page 37 shows housing areas of greatest need in the two neighborhoods.)

At the end of the five years, housing efforts should be evaluated -- for the project/program production goals, and for target area selection -- and changes made as necessary to adjust housing projects and programs for the second five year period which would be generally directed to bringing all area housing up to standard condition.

*Neighborhood Street in Meridian-Highland*



**Rental Housing:**

- Investor-owned Rehab. Loan Program - NDSD
- Section 202 Elderly - U.S. Department of Housing and Urban Development
- Housing Counseling, Tenant Training - INHP
- Construction Loan Program - INHP, CDCs, private lenders, Adopt-A-Block participants
- Tax Abatement - NDSD

**Other:**

- Weatherization - CDCs through U.S. Community Development Block Grant program (CDBG), philanthropic
- Emergency Home Repair - CDCs through CDBG, philanthropic
- Land Acquisition - CDCs through CDBG, philanthropic
- Paint Up-Fix Up - CDCs through CDBG, philanthropic
- Housing Counselling - INHP
- Direct Acquisition and Rehabilitation/Construction - NDSD
- Heavy Trash Pick-up, Alley Clean-up - Department of Public Works
- Crime Watch - Mayor's office, Department of Public Safety

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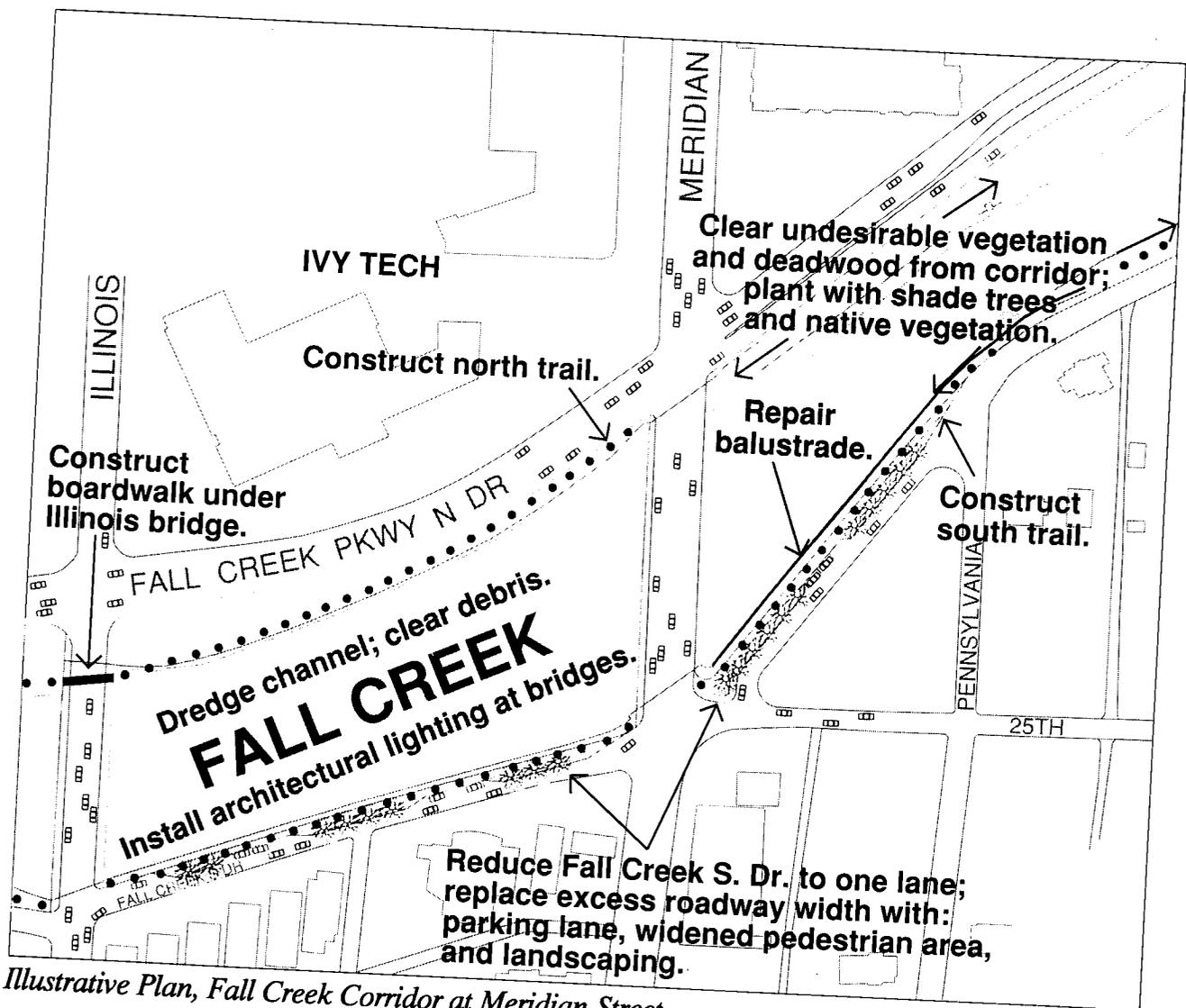
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## RECOMMENDATIONS

- h.) Reduce the width of Fall Creek S. Dr. between Meridian and Illinois to one lane plus parking and replace the excess roadway with a widened pedestrian area and landscaping at top of floodwall.
- i.) Construct a trail system:
  - South bank - Central Avenue to Barton Park
  - North bank - Ivy Tech to Watkins Park
- j.) Install drinking fountains and trash containers.
- k.) Repair the alley that serves Barton Park.
- l.) Repair the fence along Barton Park and extend it south to control dumping.
- m.) Repair and replace the play equipment in Barton Park.
- n.) Clear brush and poison ivy in Barton Park.



*Illustrative Plan, Fall Creek Corridor at Meridian Street*

Near North/Fall Creek embodies many of the features of a mixed-use, mid-city area -- physically, economically, and socially. The 1990 Census showed a population of 5,078. There were 3,273 housing units. Generally, the corridor is strongly integrated along Meridian and in its southern areas; the northern sections are largely African-American. There are concentrations of elderly throughout the area and a very high concentration in the southern portion. Home ownership is high in the single family residential areas.

Office uses make up approximately twenty percent of the land use in the area and are located principally along the Meridian Corridor. Residential comprises approximately thirty percent, from larger lot single family through small lot singles and doubles, smaller scale apartment buildings to very high-density apartment towers. Public and semi-public uses make up about twenty percent of Near North/Fall Creek. Methodist Hospital dominates the west central portion of the area and has attracted a number of office and medical uses to this area. Also along Meridian are important institutional uses including SS. Peter and Paul Cathedral, the Catholic Center, and Indiana Vocational Technical College. Herron School of Art is on 16th Street. Industrial uses are located primarily just north and east of I65. Fall Creek moves through the northern portion of the area. Vacant buildings and lots comprise about ten percent of the area, the greatest concentrations being in the 2100 blocks of Capitol and Illinois and Pennsylvania between 18th and Fall Creek.

The area has an overall positive image. There are strong resident and business/institutionally based organizations working in the corridor. There is good access and visibility to the area from the adjacent I65 and the many arterial streets.

Some deterioration has occurred, and there is always the threat of additional losses, to the detriment of individual areas and to the concern of the area's overall stability and high character of development. Also of concern is the proper reuse of vacant or underutilized parcels, particularly those that would impact on the character of Meridian and other important streets, on particular institutions, and on residential areas adjacent to Meridian. Some areas also have recently seen the construction of buildings that are not compatible with the corridor's traditional architectural and developmental character.

Those needs: to protect and reinforce the corridor's many positive attributes, and to monitor and influence new development activity, have led to the preparation of the Near North/Fall Creek Plan. This Plan will be an important step in helping to bring to the area an additional level of protection and to help guide new corridor development.

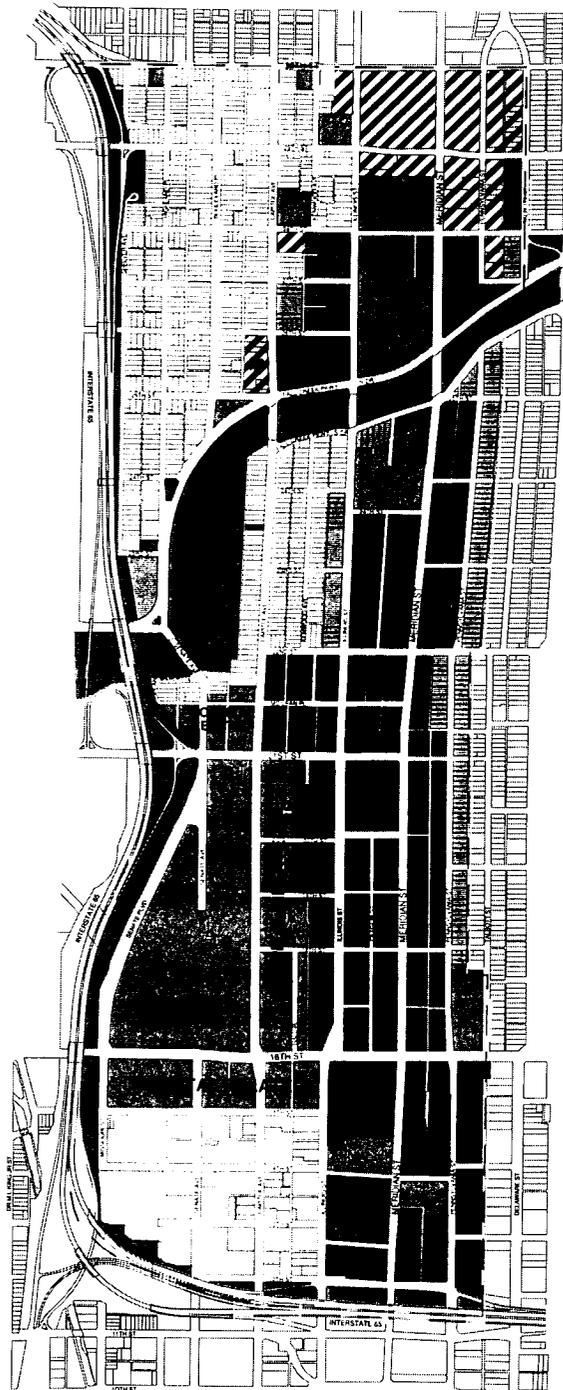
Implementation of recommendations will depend on continued short and long-term public and private action. In many instances, accomplishments will continue to come from the commitment and effort of area institutions and investors. The MDC will use the Plan to evaluate petitions for rezonings, variances, and other improvements. Near North will continue in its leadership role to work for the implementation of the Plan as it carries on with its work in the Corridor.

\* Commercial use of this site should be under the sponsorship of Near North Development Corporation. Commercial uses should be restricted and carefully controlled. See text.

- COMMERCIAL
  -  OFFICE SINGLE USE
  -  RETAIL AND SERVICE SINGLE USE
  -  OFFICE MIXED USE
  -  RETAIL AND SERVICE MIXED USE
- RESIDENTIAL
  -  LOW DENSITY (5 OR LESS DU'S/A)
  -  MEDIUM DENSITY (6-15 DU'S/A)
  -  HIGH DENSITY (16 OR MORE DU'S/A)
-  LIGHT INDUSTRIAL RESEARCH AND TECHNOLOGY
-  PARKS AND OPEN SPACE
-  PUBLIC AND SEMI-PUBLIC

**LAND USE PLAN**

0' 300' 600' 900' 1200'



INDIANAPOLIS-MARION COUNTY, INDIANA  
 DEPARTMENT OF METROPOLITAN DEVELOPMENT  
 PLANNING DIVISION OCTOBER 20, 1993  
 NEAR NORTH DEVELOPMENT CORPORATION

14

NEAR NORTH/FALL CREEK

**EXECUTIVE SUMMARY**

**GOALS**

**COMMERCIAL GOAL:**

To increase the vitality of the corridor's commercial uses and areas (office and retail/service) by working with the public and private sectors to provide adequate incentives and design guidelines for the establishment, maintenance, and improvement of establishments, both in renovation and new construction.

**RESIDENTIAL GOAL:**

To improve and enhance the corridor's existing housing stock in neighborhoods in which the corridor is located, with attention to both the neighborhoods' historic character and proper use.

**PUBLIC AND SEMI-PUBLIC GOAL:**

To integrate institutions' expansion into the overall corridor development by monitoring development plans and cooperating with area institutions on elements of land use and design.

**PARKS AND OPEN SPACE GOAL:**

To improve park facilities and open spaces to benefit corridor residents and visitors.

**INDUSTRIAL GOAL:**

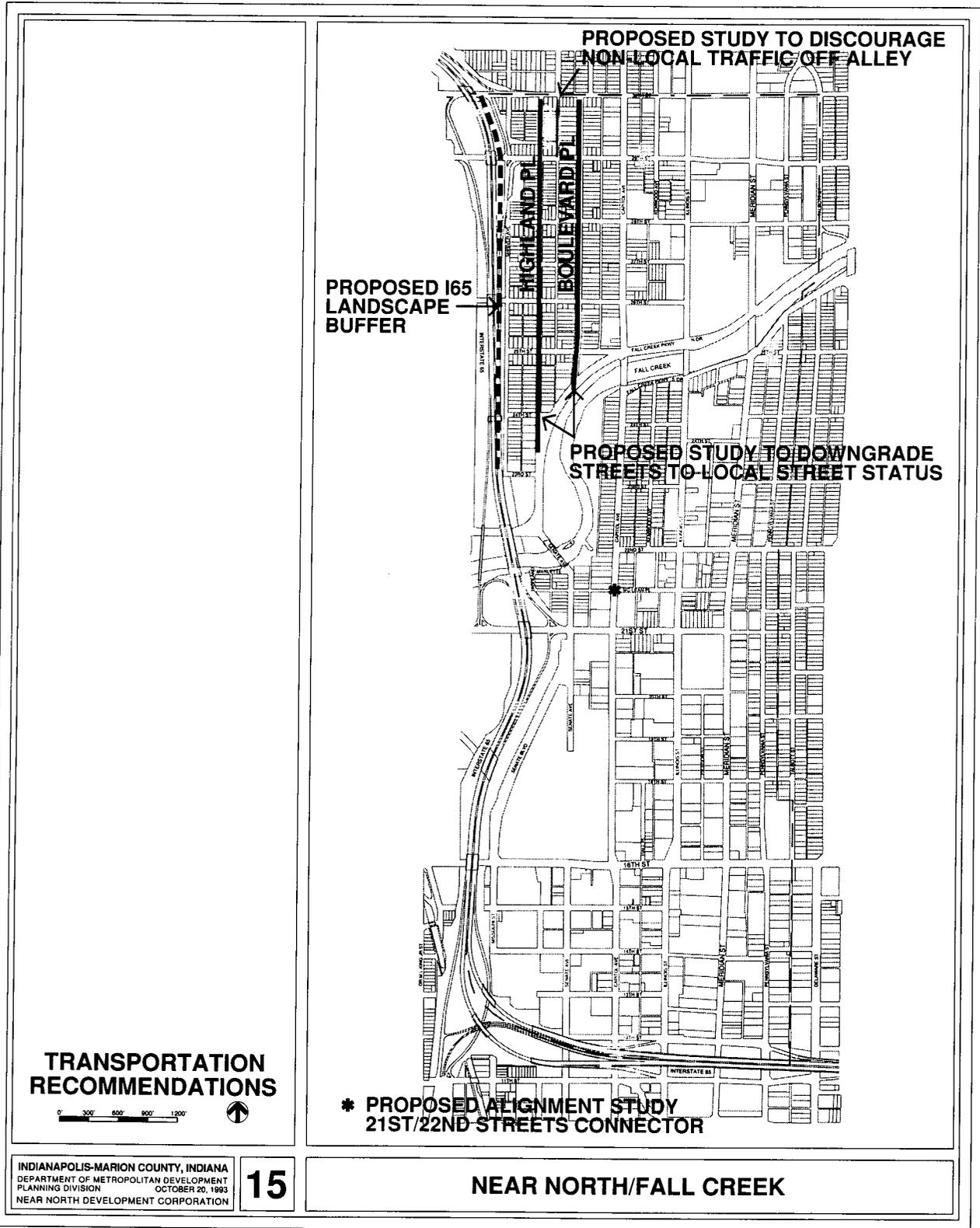
To assist the redevelopment of the area for existing industrial activities and for new research and technology activities that relate to the health and medical communities and to medical technology.

**TRANSPORTATION GOAL:**

To maintain the existing overall transportation system and to enhance intra-area movement to better serve and complement the area's character.

**APPEARANCE GOAL:**

To develop a prominent and unified image for the area with residential/institutional/commercial/industrial components.



**EXECUTIVE SUMMARY**

locations including the following: the portion of the block bounded by 12th, Meridian, SS, Peter and Paul, and Pennsylvania; 16th and Meridian (all four corners of the intersection), the east side of Meridian between 16th and 18th, and both sides of Meridian between 24th and Fall Creek.

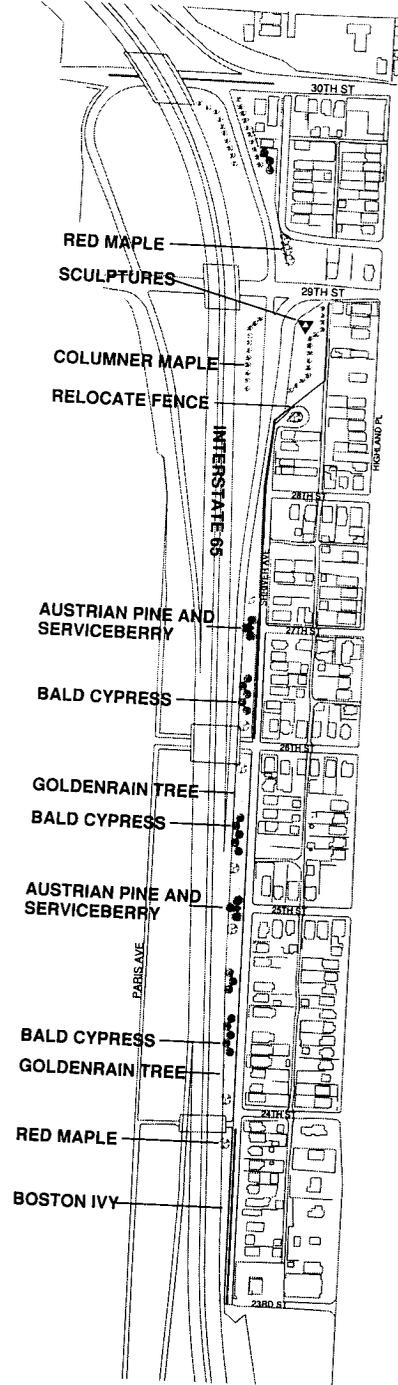
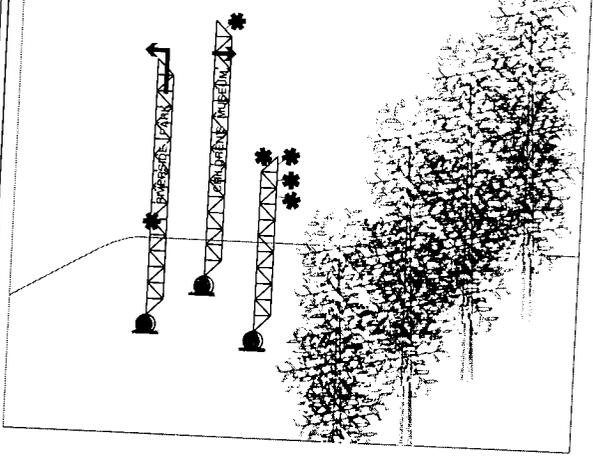
- 3.) Support the development of a viable commercial center at 21st, 22nd, and Meridian Streets. As a first step to accomplishing this, Near North should prepare an update of its market study for this area. This area also may be appropriate as a part of a private or city redevelopment district in conjunction with Commercial Recommendation 1.
- 4.) Support the redevelopment of 16th Street as a commercial retail/service corridor with compatible uses and a coordinated development pattern, through private action and through implementation of the Design Guidelines (see Design Guidelines in the Implementation section), and at a higher level of intensity to include where feasible office or office/apartment development.

- 5.) Support the development of a Near North Development Corporation sponsored neighborhood commercial center in the block face on the west side of Capitol between 25th and 26th and west of Weyerbacher Terrace. Commercial uses at this center should be neighborhood oriented retail and service uses that are traditional to the area (including retail, personal services, and professional services that would relocate from elsewhere in the general area), would be low traffic generators, would generate little or no evening traffic, and would not be open late into the evening. High traffic generators, uses that are oriented to the larger city, or uses that normally operate longer hours would not be appropriate for this site. Signs for uses at the site should be few in number, small sized, and not readily visible from nearby residences, public and semi-public uses, and the Fall Creek corridor.
- If reuse of this site for the described commercial uses cannot be accomplished, reuse is recommended for apartment development as described in Residential Recommendation 3. Any transitional yard requirements should be fully applied.
- Any reuse of this site for commercial can only be for those uses as described in this recommendation and with Near North, Highland and Vicinity Neighborhood, and city approval and with Near North sponsorship.

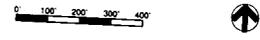
**RESIDENTIAL RECOMMENDATIONS:**

- 1.) Give high priority to the development of housing programs that assist existing homeowners.
  - 2.) Give high priority to the development of housing programs that assist the area's older homeowners.
  - 3.) Preserve and enhance Highland Vicinity and Meridian-Highland as residential neighborhoods through measures such as appropriate rezonings, improvement programs including housing rehab, and compatible new infill housing.
- Housing rehab and construction should be expanded so that within the next five years it would be possible to help bring a substantial amount of Highland Vicinity and

SCULPTURES AND COLUMNER MAPLES



ILLUSTRATIVE PLAN  
INTERSTATE 65  
SCREENING



INDIANAPOLIS-MARION COUNTY, INDIANA  
DEPARTMENT OF METROPOLITAN DEVELOPMENT  
PLANNING DIVISION  
OCTOBER 20, 1993  
NEAR NORTH DEVELOPMENT CORPORATION

16

NEAR NORTH/FALL CREEK

by grants and loans to homeowners and private developers, or by grants and loans to Near North so that it can further expand its housing activities. Citizens Neighborhood Coalition and UNWA also should investigate the potential for developing such a program in their areas.

Support for these projects and programs will as mentioned in the preceding require increased government and institutional funding. Over the five year period, as Near North and area participants in the Adopt-A-Block program are continuing with their work, a number of homeowners in both Highland and Meridian-Highland will be upgrading their own homes, either through normal maintenance or through more extensive home repairs or full rehabilitation so that a significant number of homes are improved. Much of this private effort will be stimulated and supported by the work of such groups as the Indianapolis Neighborhood Housing Partnership which also has been working in the area. The areas also will likely see increased investment and rehabilitation work by private companies attracted to the area in part by the increased housing improvement work of Near North, INHP, and other groups. The work of all these groups should be continually encouraged and supported by government and institutions.

- 5.) Promote the development of new housing along Meridian Street possibly incorporated with office development.
- 6.) Citizens Neighborhood and the King Park Development Corporation should undertake housing projects along the east side of Pennsylvania south of Fall Creek. Existing buildings should be rehabilitated where possible. Compatible, new housing should be constructed on vacant lots.

**PUBLIC AND SEMI-PUBLIC RECOMMENDATIONS:**

- 1.) Support the growth and expansion needs of area institutions such as Methodist Hospital, promoting development compatible with adjacent residential.
- 2.) Promote long-term garage development for the area's major institutions.

**PARKS AND OPEN SPACE RECOMMENDATIONS:**

- 1.) Undertake a tree planting program along major streets with priority to Capitol, Illinois, Meridian, Pennsylvania, 12th, 16th, 21st, 22nd, Fall Creek Parkway, 29th, and 30th.
- 2.) Promote improvements to Barton Park.
- 3.) Promote improvements to the Fall Creek Corridor.

## IMPLEMENTATION

### REZONING

A number of Near North/Fall Creek properties need to be rezoned. Any rezonings should be in support of the land use plan and provide for one of the following objectives:

- Rezone to appropriate zoning district classifications any properties whose uses are recommended to remain.
- Rezone to less intense and appropriate zoning district classifications any properties which are in uses which should be phased out to less intensive uses.
- Rezone certain properties to higher zoning district classifications to help stimulate revitalization.

Several major activity uses in Near North/Fall Creek are long-standing and have shown to be appropriate uses for their areas, but have never been properly zoned. Rezoning to their appropriate zoning classification will facilitate future improvements or expansion.

Generally, these situations fit within two categories: institutional uses and higher intensity Meridian Street office uses.

Examples of areas that should have less intensive zoning permitted are the following areas: the I3U area along 16th Street immediately south of Methodist, C4 areas along 30th Street and Pennsylvania, and C5 areas on Meridian. It is not anticipated that these areas should be available for I3U, C4, and C5 uses but would better serve their areas if they were rezoned for less intense uses.

Other areas may benefit by rezoning to new zoning classifications as one means to help assist redevelopment. An example of such an area is the recommended office area on Meridian Street between 24th Street and Fall Creek. Portions of this area are zoned C4. Rezoning this area to C2 would help facilitate its future development for offices or offices/apartments.

**APPEARANCE RECOMMENDATIONS:**

- 1.) Request that the Metropolitan Development Commission and City-County Council consider revising the Regional Center Secondary District to incorporate development standards for both residential and non-residential properties, including building treatment, siting, signs, and parking standards similar to the recommended Design Guidelines.
- 2.) Encourage Near North to undertake a program to encourage voluntary compliance with the Design Guidelines.
- 3.) Encourage Near North to establish a design review committee, with representation including area residents, businesses, and institutions, to review and comment on any zoning, variance, or approval petitions.
- 4.) Institute a street tree planting program along major streets with priority to Capitol, Illinois, Meridian, Pennsylvania, 12th, 16th, 21st, 22nd, Fall Creek Parkway, 29th, and 30th.
- 5.) Institute a front yard landscaping program along Meridian and Pennsylvania Streets.

**B.) Regional Center Zoning Ordinance, North Meridian Corridor Development Standards:**

(1) All development standards as required by the ZONING DISTRICT shall be applicable in . . . the NORTH MERIDIAN STREET CORRIDOR except as modified by this section.

(a) **REQUIRED FRONT YARD, MINIMUM SETBACK**

Buildings and structures shall be located along the established front setback line (as defined in Section 2.00A2 of the Commercial Zoning Ordinance of Marion County, 69-AO-1, as amended).

(b) **USE OF REQUIRED YARDS**

Off-street parking shall not be permitted in any required front yard.

(c) **SCREENING AND LANDSCAPING OF REQUIRED FRONT YARDS**

(i) Front yards shall be landscaped in an open pattern, in grass and shrubbery, trees and/or hedge to provide a partial screening of the commercial use. An ornamental, decorative fence or masonry wall, not more than two-and-one-half (2-1/2) feet in height if solid, or six (6) feet if open, may be used in conjunction with the landscaping. Chain link fence may not be used in conjunction with landscaping in required front yards. Provided, however, along any portion of a lot where parking exists or is proposed in front or at the side of a structure, there shall be provided and maintained along the front line of the parking area a buffer screen of either:

Architectural Screen - a wall or fence of ornamental block, brick, solid wood fencing, or combination thereof. Said wall or fence shall be at least forty-two (42) inches in height and shall be so constructed to such minimum height to restrict any view therethrough, or

Plant Material Screen - a compact hedge of evergreen or deciduous shrubs, at least 36 inches in height at the time of planting.

The ground area between such wall, fence or hedge and the front lot line shall be planted and maintained in grass, other suitable ground cover, shrubbery and/or grass. All shrubs and trees shall be planted balled and burlapped and shall meet the standards of the American Association of Nurserymen, (a copy of which is on file in the office of the Division of Planning and Zoning, Department of Metropolitan Development of Marion County, Indiana, and is hereby incorporated by reference and made a part hereof).

(ii) **Minimum Maintenance Standards for Screening and Landscaping Area:**

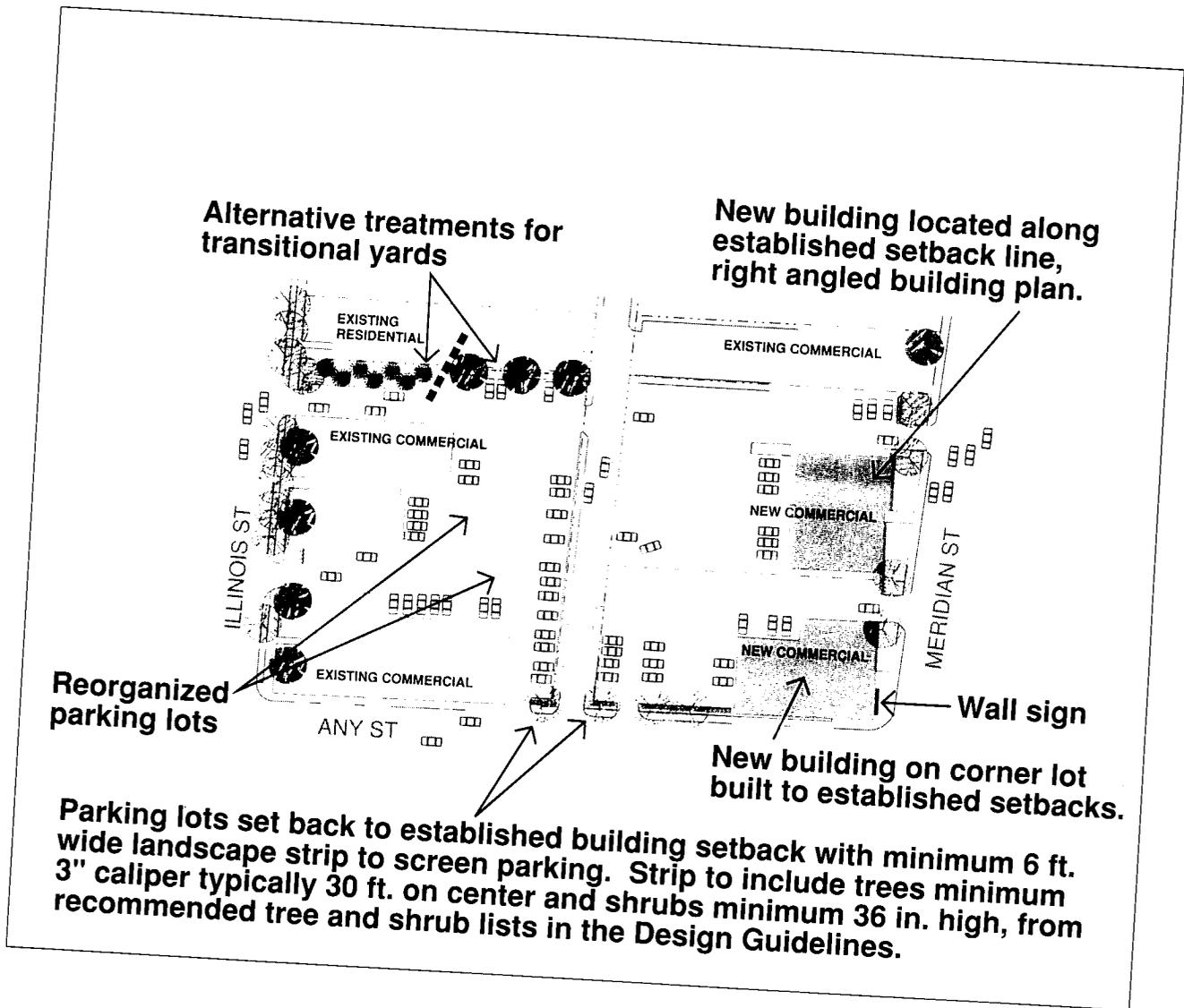
- All trash containers/dumpsters shall be screened from frontage views.
- Equipment and supplies such as tires, parts, machinery, tools and the like shall be screened or stored in an enclosed space.
- Inoperable vehicles and any related parts shall be screened or stored in an enclosed space.

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*Fall Creek Corridor looking west to the Capitol Avenue Bridge*



In addition to the preceding required development standards of the Regional Center Ordinance, which are lawfully enforceable, are the recommended Design Guidelines (see Appendix A). These design guidelines are further recommendations for development in the North Meridian Street Corridor's RC district and the vicinity of Methodist Hospital that should be used in any building or site renovation or new development. The guidelines describe how such development can occur so that it is appropriate and in keeping with the existing positive aspects of the area's character. Their use will greatly assist implementation of the Near North/Fall Creek Plan. The following graphic shows the Design Guidelines applied to hypothetical sites along Meridian and Illinois Streets.



*Illustrative Plan, Design Guidelines Applied to Hypothetical Sites in Meridian Corridor*

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## FOREWORD

The RC Ordinance is an overlay zoning ordinance which subjects any new use or improvement to the approval of the Metropolitan Development Commission. The MDC has responsibility for the physical development of the City-County and helps direct the work of the Planning Division.

There presently are two RC districts. The original RC district is the Indianapolis Regional Center. The Regional Center is the area within the originally planned alignment of the Inner Loop Freeway and includes the downtown area, the Indiana Government Center, and the main campus of Indiana University - Purdue University at Indianapolis. Section One of the lower sections of the North Meridian Corridor also is within the Regional Center. The RC amendment also includes, for Sections One through Five, prohibitions on certain land uses (inappropriate to the character of the North Meridian Corridor) and requirements for additional development standards.

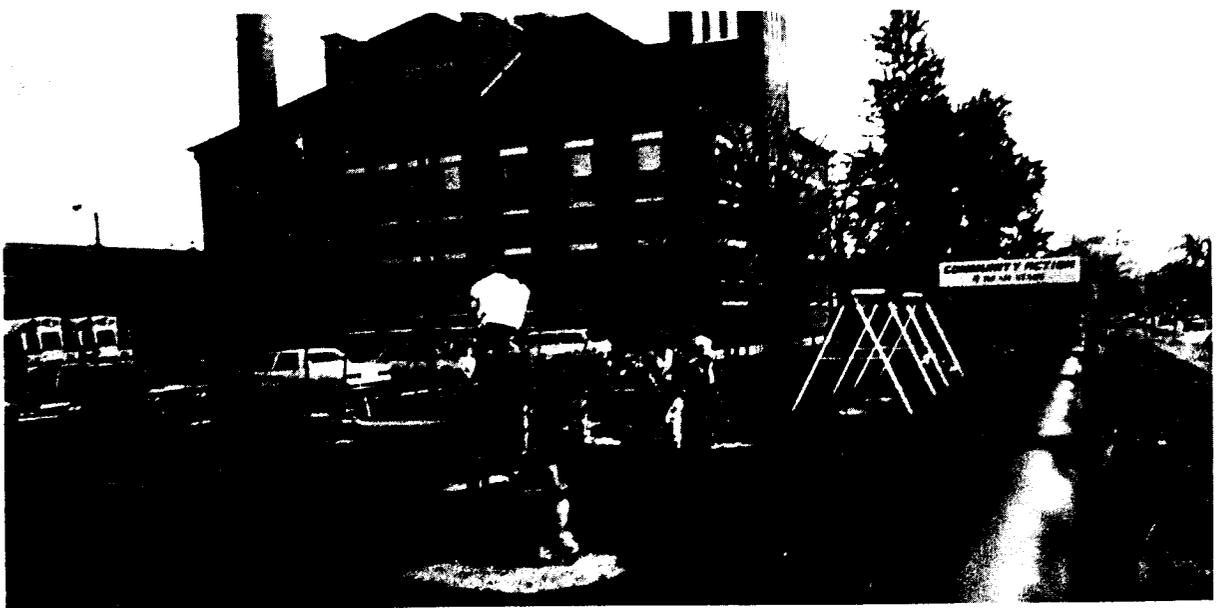
The MDC also has established the Near North Industrial Park Redevelopment District for the area generally bounded by Methodist Hospital, Illinois, and I65. Improvements in this area also must receive MDC approval and are directed to assisting expansion by Methodist, area businesses, and new businesses for medical technology research and development.

There are also two historic districts, Herron-Morton Place and the Old Northside, for which historic preservation plans have been adopted and that have been declared local historic areas by the MDC and the Indianapolis Historic Preservation Commission. This designation provides additional protection to Herron-Morton and the Old Northside by requiring IHPC approval of any changes to properties to these areas.

The Planning Division began working with Near North on the Near North/Fall Creek Plan in 1992. A Steering Committee was established; its membership includes representatives of area institutions, residents and neighborhood organizations, businesses, Near North Development Corporation, and other area organizations.

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# APPENDICES



*Community Action's Operation Head Start*

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*SS. Peter and Paul Cathedral and Winter House*



## DESIGN GUIDELINES

### NORTH MERIDIAN STREET CORRIDOR AND METHODIST HOSPITAL VICINITY

The following guidelines for the North Meridian Street Corridor (the area presently under the RC Secondary Zoning Ordinance north of Interstate 65) and the vicinity of Methodist Hospital (the area bounded by I65, 15th Street, the west edge of the RC Ordinance Secondary District, and the Hospital District Two area north of Methodist) of Near North/Fall Creek will assist in the implementation of the Plan. These guidelines will give property owners, business operators, developers, and designers a better understanding of the type of development that is appropriate for the area, and establish criteria for city planning staff to use in the review of zoning and variance cases and the review of any development seeking public assistance or funding.

These guidelines do not replace the development standards of the existing zoning ordinances (including the Regional Center Secondary Zoning Ordinance's prohibited uses and development standards), or the design guidelines of the local historic area plans for Herron-Morton and the Old Northside; they do not have the same legal status as zoning ordinances, or IHPC/MDC adopted local historic area plans. Their use, however, will make new development projects more compatible with existing development than the primary zoning ordinances would, which by their nature must be more general so as to be able to respond to the much wider variety of development issues found throughout the county. (It is believed that these design guidelines are fully compatible with the RC Ordinance and the local historic area plans. However, in any instances of conflicts between these design guidelines and the prohibited uses and development standards of the RC Ordinance, or the design standards of the Herron-Morton and Old Northside plans, the RC Ordinance and the historic area plans shall take precedence.)

Strict application of these guidelines may require variance of certain primary zoning ordinance development standards: the benefits to be gained for the improved image of the Corridor will justify the variance.

One of the most distinctive features of these sections of Near North/Fall Creek is its buildings. Building size, shape, color, materials, etc., do much to establish the character of an area or sub-area no matter what style or age the buildings are. For any area to have an identifiable character, there should be some common elements throughout (e.g., similar architectural style, building age, and building materials).

Most area apartment buildings, for example, may be distinguished by the following features: brick construction with limestone or terra-cotta details; flat roofs, although there are some hip roofs; mid-rise and high-rise buildings, although there are some two and three story buildings; and first floors raised four to eight feet above street level.

The Near North/Fall Creek Plan will serve as a guide for development. Actual implementation of recommended projects and programs will depend on continued short and long-term public and private action. In many instances, accomplishments will continue to come from the commitment and effort of area institutions and private investors. The MDC will use the Plan to evaluate any petitions for rezonings, variances, and other improvements. Near North Development Corporation will continue in its leadership role to work for the implementation of the Plan as it carries on with its work for the betterment of the corridor. It is committed to helping the corridor realize its full potentials as an area of great historic and continuing importance to Indianapolis.

Data on area conditions was researched and analyzed. A set of goal statements was developed. Recommendations for proper land use, zoning, and improvements needed to attain the goals were developed. The possible resources to implement the recommendations were then identified.

- Research, analysis, and goal formulation,
- Plan recommendations, and
- Implementation recommendations

The process for completing the Near North/Fall Creek Plan consisted of three major tasks:

### Planning Process

The 1990 Census showed Near North/Fall Creek to have a population of 5,078 people. There were 3,273 housing units. Generally, the corridor is strongly integrated along Meridian and in its southern areas. The northern sections are largely African-American. There are concentrations of elderly throughout the area and a very high concentration in the southern portion. Home ownership is relatively high in the single family residential areas.

Meridian-Highland and Highland Vicinity neighborhoods are within the study area. There is an adopted plan for the Methodist Hospital vicinity, and as mentioned in the preceding section, the *North Meridian Corridor Development Plan* for the Meridian Street Corridor. The Near North Industrial Park Redevelopment Plan guides renewal for the industrial area. Meridian-Highland is within the area of the Methodist vicinity plan; Highland Vicinity is within the area of the Crown Hill plan. The recommendations of all these plans will be incorporated in this study.

### INTRODUCTION

**B.) Building Shape:**

Buildings in the area generally have facades and building plans that are right angled and are perpendicular to the street. The portion(s) of any new building fronting on Meridian, Pennsylvania south of 22nd, 16th, 21st, and 22nd should conform to this.

**C.) Building Materials:**

Significant area buildings are made principally of brick, metal trim, glass, or limestone. New buildings should be made of the same or similar materials.

Side and rear facades of buildings not visible from streets may be made out of materials other than those used on facades seen from streets, but they should be painted or otherwise treated to be compatible with the visible facades.

Materials used in remodeling older buildings should be of a quality and style compatible with the existing elements of the buildings on which they are placed. Materials such as wooden doors with no windows, rough sawn siding, and wooden shakes look out of place on buildings in this area and should not be permitted.

Mansard and other ornamental type roofs should not be added to buildings because they often cover up or detract from the original character of the building. They also quite frequently become maintenance problems. If hip or other sloped roofs are used instead of flat roofs, the roofs should be covered with tile or similar materials to more closely match existing buildings.

Brick buildings that have never been painted should be painted only if it is necessary for the preservation of the bricks. Painting often takes the character away from a brick building and also necessitates more frequent maintenance than a plain brick building.

Any materials used in the area should be as durable and maintenance free as possible.

**D.) Building Color:**

Typical colors on older buildings are in a neutral range and primarily the natural colors of the building materials (i.e., the colors of brick, metal, or stone). New colors should conform to this. Color should never be the most noticeable feature of a building.

**E.) Commercial Retail and Service Storefronts:**

Storefronts in the area typically contain the following elements: transoms, kick plates, entry ways, doors, windows, and ornamentation. These storefront elements should be used in new commercial retail and service construction. New storefronts should have the same

Near North/Fall Creek has played many unique roles in the development of the larger city and the state itself. The southern portion, being closest to the city's original settlement of the area's oldest streets as part of the Indianapolis and Westfield Gravel Road (which ran north in the right-of-way of present-day Illinois Street from the original Mile Square to the Central Canal, where it moved northeast along the Canal in the right-of-way of present-day Westfield Boulevard).

A new movement to build residences in the area grew up after the Civil War. A boom in commerce and industry was erupting in the late 1860s. New fortunes were being made, and by the 1870s, their holders were looking to the northside of the city, where more expansive lots were being laid out along streets such as Illinois, Meridian, and Pennsylvania.

These prominent citizens wanted to get away from the noise and bustle of the city yet still be close enough to conduct business and shopping downtown. North was a logical direction for them to move, away from the pollution and noise of the existing commercial/industrial center to the south and the developing industrial and lower and middle class residential sections to the west and east.

This area came to be the most fashionable place in the city to live. During the Victorian period, the leading merchant princes and industrialists as well as the city's social elite erected their mansions along Meridian, from 10th to 16th. The prominent in society who could not secure a lot on Meridian, built comfortable residences on the other parallel north-south streets. The general area likewise became the home of leading religious and educational institutions. Many who were attracted to the area were law and political associates of President Benjamin Harrison who erected a home at 1230 North Delaware in 1874-75 just to the east of Near North/Fall Creek.

Urban development was limited primarily to the south of 16th Street (then Seventh Street), it in turn would be supplanted after 1900 in importance by the region north of Fall Creek. The portion of the Old Northside generally bounded by Pennsylvania, 16th Street, the Monon railroad line, and Interstate 65 has been placed on the National Register of Historic Places, the federal listing of historically significant properties.

The east central portion of the area comprises the west edge of the Herron-Morton Place Historic District, which also has been placed on the National Register. Herron-Morton is bounded by the alley west of Pennsylvania Street, 22nd Street, the alley east of Central Avenue, and 16th Street.

## AREA HISTORY

## INTRODUCTION

doors, take all of the interest out of the streetscape and therefore should not be used. Security screens should not be permitted along Meridian Street. Permanently fixed bars on storefront windows should not be permitted.

**I.) Mechanical Equipment:**

Elements of mechanical equipment, such as air conditioning equipment, exhaust vents, heating ducts, microwave dishes, and antennae, should be out of public view, especially from surrounding streets, and not located in any required yards. Window air conditioners in residential buildings may be permitted; however, every effort should be made to keep them out of windows facing Meridian Street and other major streets.

**J.) Awnings:**

Awnings are fabric structures extended over building doors or windows for the purpose of shading windows or providing weather protection for pedestrians. Awnings have also been used as signs. Awnings can be curved, concave, concave with sides, convex with flat sides, and convex with curved sides.

Awnings that are placed on buildings with more than one ground floor tenant should all be of the same type although they may be of different colors. Awnings should fit within the bays of building facades and reflect the building facade proportions. Awnings should be supported by the building on which they are placed; they should not be supported with vertical members.

If awnings contain signs, are in the public right-of-way or a required yard, or are above a sidewalk, they should be a minimum of nine feet above the grade line. No awning should be less than eight feet above the grade line. No awning should project more than five feet from the building face.

Awnings may have the name of the business and business address that represent the primary business at that address. Lettering should be limited to twenty-five percent of the average surface area of the awnings. There should be no cartoon characters on awnings.

Awnings may be colorful (including vertical striped colors), but the colors used should not contrast significantly with the surrounding environment. Metal, fiberglass, or wooden awnings should not be permitted.

**K.) Canopies:**

Canopies are roof-like projections over building doors and windows or a sidewalk and constructed for the purpose of providing weather protection for pedestrians or accentuating building entries.

Methodist Hospital's founding dates to the 1899 International Convention of the Epworth League of the Methodist Episcopal Church and a decision to build a hospital in growing Indianapolis to be called the Methodist Episcopal Hospital and Deaconess Home of the State of Indiana. The cornerstone of the hospital's first building was laid in 1905 at the northwest corner of Illinois and 19th Streets. Many doctors protested the location, however, saying that it was too far from their downtown practices, and a new site was settled on, at Capitol and 16th Streets, known as the Tinker Street Park, the former home of the Indianapolis Indians. The new three-story, sixty-five unit building was formally dedicated in 1908, and the hospital started admitting patients.

The Meridian-Highland Neighborhood west of Illinois Street between 21st Street and Fall Creek is the remainder of the larger residential area that developed there around the turn of the century. Many of the homes were constructed for the city's middle-class who were wanting to move into the northside.

*House in Herron-Morton*



**INTRODUCTION**

## II. Non-Residential Signs

The primary purpose of signs should be to identify places of business so that they can be found by potential customers. Signs should not dominate the environment (buildings, landscaped areas, vistas along streets, etc.) in which they are placed. When signs are allowed to dominate their environment, visual chaos can result, and information offered to the public can become difficult or impossible to comprehend. The goal of sign standards is to achieve business identification and a brief description of the primary goods or services provided.

Signs used to identify apartment buildings in the area have typically been either ground signs or wall signs. New apartment signs should be either of these two types of signs, except that awning signs, canopy signs, and window signs will be permitted.

The purpose of developing sign standards that are more detailed than the Sign Regulations of Marion County, Indiana is to ensure that signs are:

- Compatible in color, style, construction, location, etc., with the surrounding environment,
- As simple and straightforward as possible in identifying businesses and their primary products,
- Easy to read, and
- Not in competition with or confused with traffic control or safety devices.

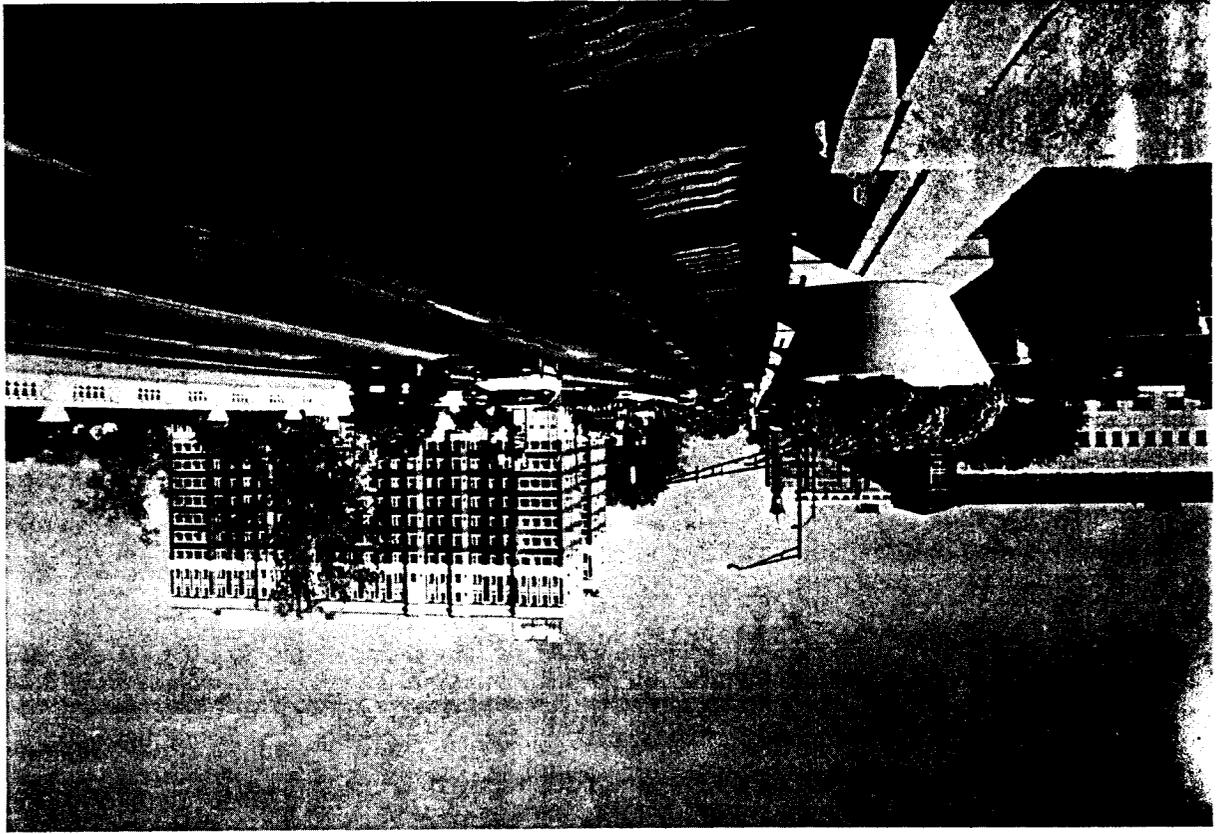
### A.) Sign Types:

- 1.) **Projecting sign** - A sign that is attached to a building and projects outward more than eighteen inches. Projecting signs can block scenic views and neighboring signs. Projecting signs are permitted in the Meridian Street Corridor by the Regional Center Ordinance, however, their use should be discouraged.
- 2.) **Pole sign** - A sign which is supported by one or more uprights or braces from the ground with all of the sign surface attached to or supported by any such upright or brace and located at a minimum of nine feet above the ground. Pole signs, similar to projecting signs, can block scenic views and neighboring signs. Pole signs are permitted by the Regional Center Ordinance, however, their use should be discouraged. Ideally, pole signs should not be permitted on the portion of properties that have frontage on Meridian, Fall Creek Parkway North and South Drives, Pennsylvania, 16th, 21st, 22nd, 29th, and 30th. Pole signs should not be permitted in any residential district.
- 3.) **Ground sign** - A sign which is supported by one or more uprights or braces in the ground with a sign surface extending downward to or near ground level.

The area north of Fall Creek remained largely rural in character until the turn of the century. The general natural barrier of Fall Creek, the lack of other improved roads, and the absence of rapid transportation initially served to discourage urban development of any scale. However, around the beginning of this century these improvements were being made, and new urban development could expand to the area.

A notable development for this area was the implementation, after 1900, of a parkway plan by the noted landscape architect George Kessler, that included the Fall Creek corridor. Kessler also designed the carved limestone bridges that would cross Fall Creek. The ornate bridges, water, and green parkways served as the premier gateway to downtown from the prominent northside and was used for recreational purposes by the city's growing population into the forties. The Meridian bridge is based on the Ponte Vittorio Emanuele over the Tiber in Rome. It was restored in 1983 by the city and Near North.

Many of the people who could now move to the area above Fall Creek were from further south on North Meridian Street and included again members of Indianapolis' finest families. Also as before, north continued to be a logical direction for them to move, away from the pollution and noise of the commercial/industrial center.



*Marrott Hotel and Meridian Street Bridge over Fall Creek*

- 11.) **Billboard** - A sign, usually large in size, supported from the ground, affixed to a wall or affixed to a building roof for the purpose of providing a series of alternating advertising messages, and usually not advertising the property or any businesses on the property. Billboards have a very significant visual impact on the area in which they are placed, but yet serve no positive purpose for the area. Billboards should not be permitted in the area. It is also recommended that billboards be phased out of the area.
- 12.) **Window sign** - A sign placed in, behind, affixed to, or painted on a window of a building so that it can be seen from the public right-of-way. Included are neon signs, temporary sale signs, sign boards, and painted signs.  
Window signs may be used to identify the business, list major product sold or services provided, or advertise sales or prices. Sales, price signs, and similar signs should be only temporary signs.  
Window signs should be restricted to no more than twenty-five percent of the window area of the first floor windows of the building.
- 13.) **Miscellaneous signs** - There are certain types of business identification that do not fall into any of the above categories such as: large balloons, either on the ground or in the air; large statue-like figures; and immobile vehicles with signs on the sides. These types of signs are not permitted by the Sign Ordinance.  
In general, these types of signs add to the visual chaos of an area. They should not be permitted in the area.

**B.) Classification of Content:**

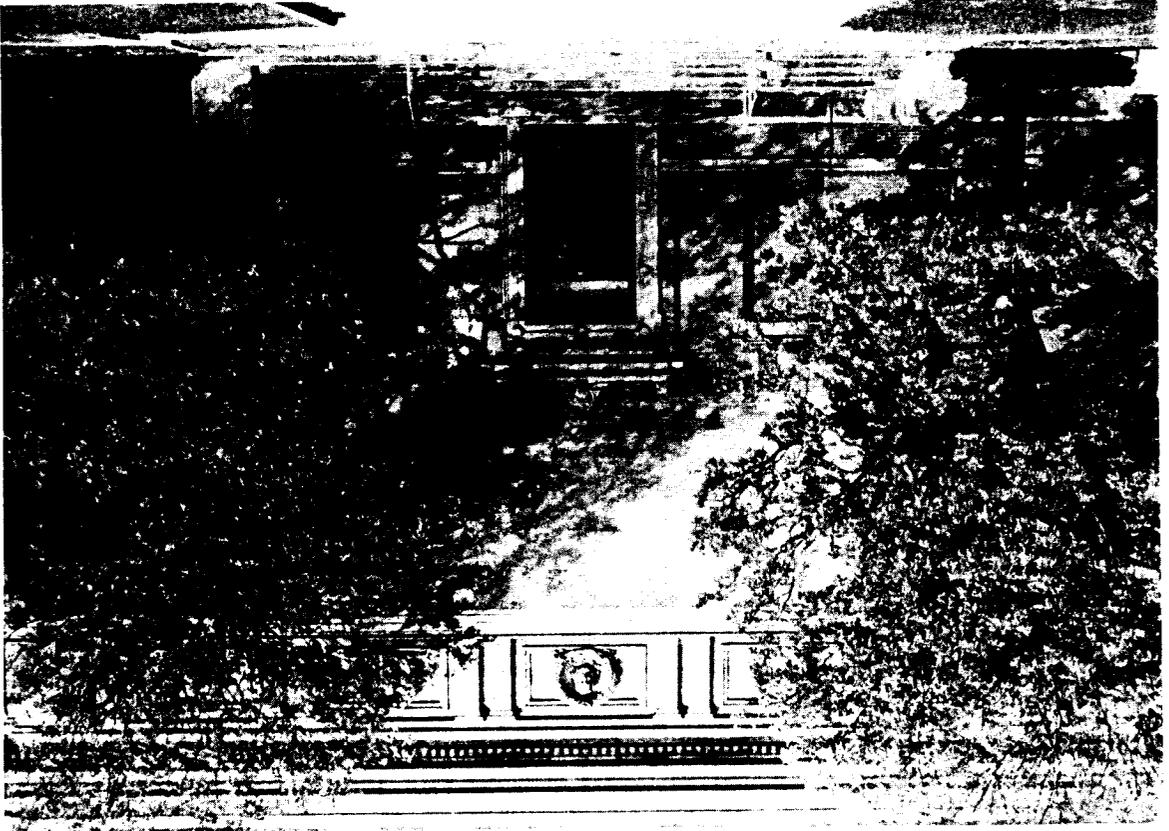
- 1.) **Advertising sign** - A sign which directs attention to any business, product, activity, or service that is not the primary business, product, activity, or service conducted on the premises upon which such sign is located. The RC Ordinance states that for the Meridian Corridor: "Advertising signs shall be permitted and shall comply with the sign regulations of Ordinance 71-AO-4 SIGN REGULATIONS of Marion County, Indiana." Ideally, however, no advertising signs would be located in the area.
- 2.) **Business sign** - A sign which directs attention to a business, building, product, activity or service manufactured, sold or offered on the premises where such sign is located. Business signs should not contain advertising such as the logo of a product that is not the primary product sold on the premises.  
It is assumed that every business in the area may have at least one business sign.
- 3.) **Incidental sign** - A sign that designates accessory uses, direction, identification, information, or real estate for sale, rent, or lease. It is assumed that businesses in the area will have need for incidental signs.

Over time, the character of the area began to change to that of a more mixed-use area. Beginning after World War I, the area began a slow, but steady, change. Some of this change can be found in the continued growth of the city. Automobile disruption of the quiet, peaceful existence prized by northside residents and expansion of the commercial district of the downtown north into the environs of their neighborhoods, coupled with new opportunities possible by the same automobiles for "country" living around and north of 38th Street, encouraged a continuing exodus of area residents.

Other significant institutions of that era include Saints Peter and Paul Cathedral constructed in 1905-07 at 1341 North Meridian and Cathedral High School (now the home of the Catholic Service Center) built in 1926-27 at 1400 North Meridian.

not-for-profit organizations. IUPUI is continuing in its efforts to find a new occupant for the site.

*Herron School of Art*



**INTRODUCTION**

The color of individual letter signs should complement the surface on which they are placed. The dominate feature of any sign that has a background should be the lettering and not the background. Similarly, internally lit signs should generally have a dark background and light letters to feature the letters and not the background.

- 3.) **Sign illumination** - If it is necessary to illuminate a sign for use at night, it should be done in such a way that the means of lighting does not dominate the sign. Flashing lights should not be permitted. Both internal and external illuminated signs are appropriate in the area.
  - a.) **External illumination** - Lit by shining lights on the sign. This can be accomplished in a number of ways: concealed ground lights, valance lights, shaded spot lights, etc. Bulbs in fixtures that are used for external illumination of signs should be concealed from public view. Bare bulbs should not be used to illuminate or draw attention to a sign.
  - b.) **Internal illumination** - Lit by fixtures inside the sign that shine through a translucent surface.
- 4.) **Sign letters** -
  - a.) **Style** - Style of lettering should be selected on the basis of legibility. Helvetica style lettering, with a combination of upper and lower case letters, is an example of an easy to read lettering style.
  - b.) **Height** - A typical maximum height for sign lettering in the area is fifteen inches. This should be the maximum size permitted in the area, except for signs permitted on awnings which should be of size as described in "Awnings" on Page A5.
- 5.) **Sign location** -
  - a.) **Pole sign** - In areas where a pole sign may be used, the bottom edge of the sign shall be at least nine feet from the ground and the top edge should be no higher than thirty feet. In the portion of the area where pole signs are permitted, they shall meet setback requirements of the Sign Ordinance.
  - b.) **Ground sign** - Ground signs shall meet setback requirements of the Sign Ordinance.
  - c.) **Projecting sign** - Projecting signs shall meet setback requirements of the Sign Ordinance.
  - d.) **Wall sign** - Wall signs should be located on the strip of building front located between the top of the first floor windows and the top of the facade on one story buildings, and between the top of the first and the bottom of the second floor windows of a multi-story building. They should be located only on the front of building facades with frontage on public streets. Wall signs should be applied so that they blend in with the details of the storefront and not cover building features such as decorative brick work, terra cotta features, and transom windows.
  - e.) **Window sign** - Opaque signs placed on windows should be out of the normal vision lines for people on the sidewalk. Business signs composed of individual letters that can generally be seen through may be at eye level.

The corridor continues to evolve. Institutional growth remains a strong force in the area. Indiana Vocational Technical College's north side Indianapolis campus is located in the former home of American United Life Insurance Company building. Ivy Tech offers a variety of programs and associate degrees for vocational training beyond high school. It has recently expanded its facilities at the campus with a new building on Meridian Street of an eclectic design that responds to the street's historic prominence.

In addition to the associations and organizations already mentioned, several other structures in the area are also significant and worth noting. The Ruth Lilly Center for Health Education at 2055 North Senate Avenue, completed in 1989, is one place in town that "brings learning to life." At the center, programs are presented using state of the art equipment to teach students of all ages about good health and good living. The focus of the center is on prevention and includes programs like general health, family living, and drug education.

Other area associations and institutions include the Boy Scouts of America Service Center and the Metropolitan Indianapolis Board of Realtors. Both Indiana Energy and Citizens Gas and Coke Utility also have their general offices on Meridian Street. The Marion County Library is constructing a services building in the 2300 block of Meridian Street.

Through the efforts of Near North, Methodist Hospital, Meridian-Highland, and the city; Kenwood Place Apartments was completed in 1985 in the 2200 and 2300 blocks of North Illinois Street. The complex consists of seventy-four units of affordable housing for senior citizens. Construction is underway for Kenwood Place II, a twenty-four unit expansion also on the 2300 block of Illinois Street.

Business development is being improved as well, both through private investment and public assistance. A number of businesses along Meridian recently have expanded their operations or renovated their properties. The Near North Industrial Park has seen reinvestment including relocation into the area of businesses from elsewhere in the city.

Over the years the Near North/Fall Creek area has contained an interesting combination of residential, commercial, institutional, and industrial land uses. There have been times when vacant and underused properties have detracted from the charm and statefulness of the area. Through it all, however, Meridian Street and its surrounding area have maintained its prominence in the community.

### Historic Sites and Structures

In 1991, Historic Landmarks Foundation of Indiana conducted a survey of historic resources in Center Township (*Center Township, Marion County, Indiana Historic Sites and Structures Inventory*). Historic Landmarks Foundation of Indiana and Indiana Department

### III. Streetscape Components

Examples of streetscape components are benches, trash cans, planters, kiosks, bus shelters, lights, landscaping, banners, flags, sidewalk surfaces, sidewalk restaurants, bollards, fountains, statues, monuments, bike racks, and telephone booths.

Streetscape elements should be used sparingly and where there is an obvious need. They also should be compatible with their surroundings.

Materials used should be as durable and vandal proof as possible and require a minimum of maintenance. All equipment should be properly maintained.

Streetscape components should be placed and designed so that they do not significantly block pedestrian flow, opening car doors, emergency access, entering buildings, etc. In most cases, this means placing the elements near the curb where the sidewalk is already lost to light poles, etc. Where possible, such elements should be grouped or combined to reduce the amount of pieces on the sidewalk.

#### A.) Benches:

Benches should be made of durable materials and weigh enough or be fastened in place so that they cannot be easily moved out of place. There should be no advertising on benches.

#### B.) Trash receptacles:

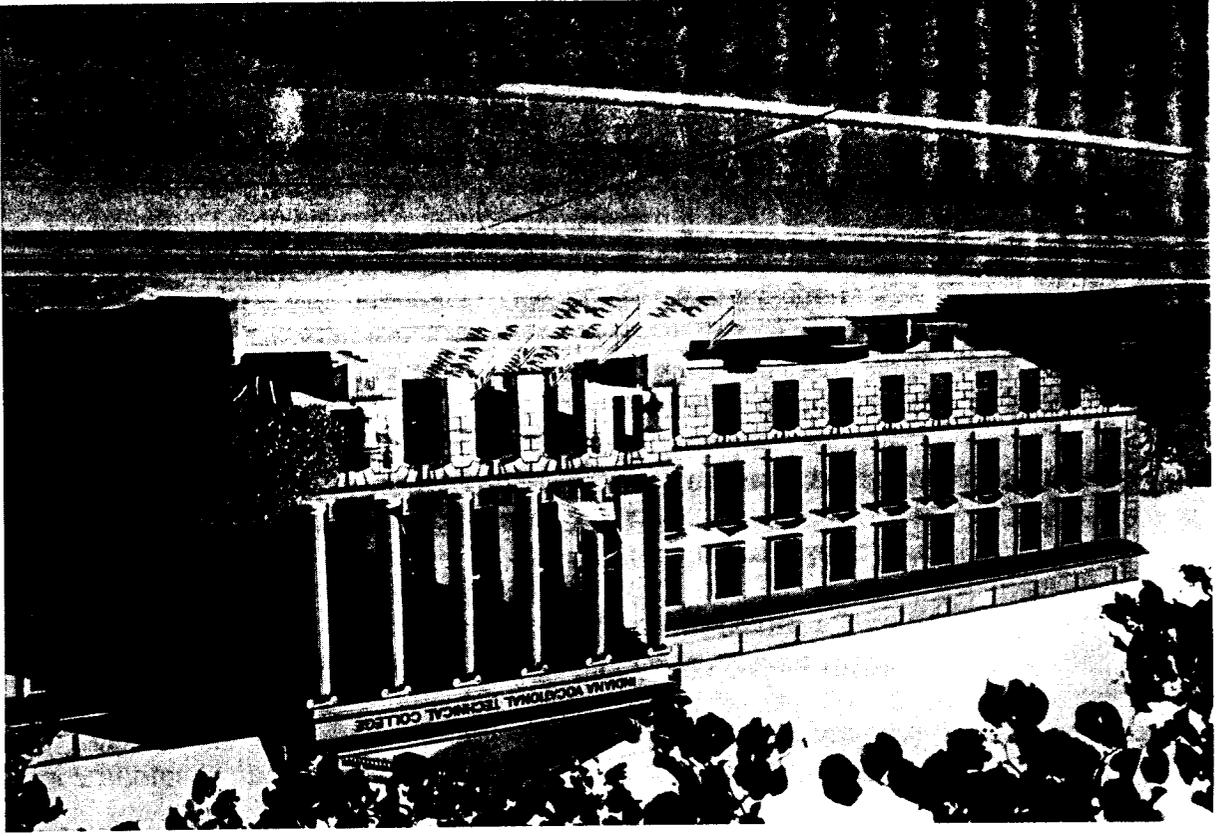
Trash receptacles should be of simple design, made of durable materials and weigh enough or be fastened in place so that they cannot be blown over by the wind. There should be no advertising on trash receptacles.

#### C.) Bus shelters:

In cases where significant numbers of pedestrians wait outside, especially at bus stops, some type of waiting area or bus shelter may be provided. All waiting areas should be out of the pedestrian flow of the sidewalk. If a bus shelter is used, it should be designed to blend into the surrounding area and be as unobtrusive and simple as possible. Bus shelters should be as comfortable as possible but not be designed in such a way that they attract non-patrons. Bus shelters should be as durable and maintenance-free as possible. There should be no advertising on bus shelters.

## INTRODUCTION

10. Fairbanks Residence, 2960 N. Meridian St. Outstanding, Renaissance Revival, 1913 (Howard Van Doren Shaw, Chicago, architect; Jens Jensen, Chicago, landscape architect), Architecture and Politics/Government
11. Fame Laundry, 1352 N. Illinois St. Notable, Neoclassical, 1929, Architecture and Commerce
12. Wallace Foster School No. 32, 2110 N. Illinois St. (Demolished) Notable, Romanesque Revival, 1890 (G.C. Pierson, builder)/1899 (Clarence Martindale, architect; W.P. Jungclauss, builder)/1958, Architecture and Education
13. Benjamin Franklin School No. 36, 2801 N. Capitol Ave. Outstanding, Romanesque Revival, 1895 (Adolf Scherrer, architect; William Kallan, builder), Architecture and Education
14. Herron-Morton Place Historic District, Central Ave., 16th, Pennsylvania, and 22nd Sts. National Register and Local Historic Area
15. Herron School of Art, 1701 N. Pennsylvania St. Outstanding, 1906 (Vonnegut & Bohn, architect)
16. Herron School of Art Annex, 1701 N. Pennsylvania St. Notable, 1929 (Paul Philippe, architect)



*American United Life Building (Indiana Vocational Technical College)*

- 3.) **Planters** - In-ground planters are preferred over pots, planter boxes, or raised planters. Plants usually survive better if they are not exposed to wind and cold as they are in pots, planter boxes, or raised planters. Because of the narrow width of the public sidewalks on Meridian Street, pots, planter boxes, or raised planters should not be located on or close to sidewalks. When planter boxes are used, they should be used year-round with shrubs and with seasonal flowers. If possible, evergreens should be placed in them for the winter months.

**G.) Screening and landscaping:**

Parking lots should be screened along street frontages and where they abut residential properties. This screening may be either an architectural screen or a plant material screen. Vacant lots should be screened on the Meridian Street frontage in a similar manner, in order to continue the established building facade line.

The RC Ordinance states that for screening and landscaping of required yards for the Meridian Corridor that: "Front yards shall be landscaped in an open pattern, in grass and shrubbery, trees and/or hedge to provide a partial screening of the commercial use. An ornamental, decorative fence or masonry wall, not more than two-and-one-half (2-1/2) feet in height if solid, or six (6) feet if open, may be used in conjunction with the landscaping. Chain link fence may not be used in conjunction with landscaping in required front yards. Provided, however, along any portion of a lot where parking exists or is proposed in front or at the side of a structure, there shall be provided and maintained along the front line of the parking area a buffer screen of either:

Architectural Screen - a wall or fence of ornamental block, brick, solid wood fencing, or combination thereof. Said wall or fence shall be at least forty-two (42) inches in height and shall be so constructed to such minimum height to restrict any view therethrough, or

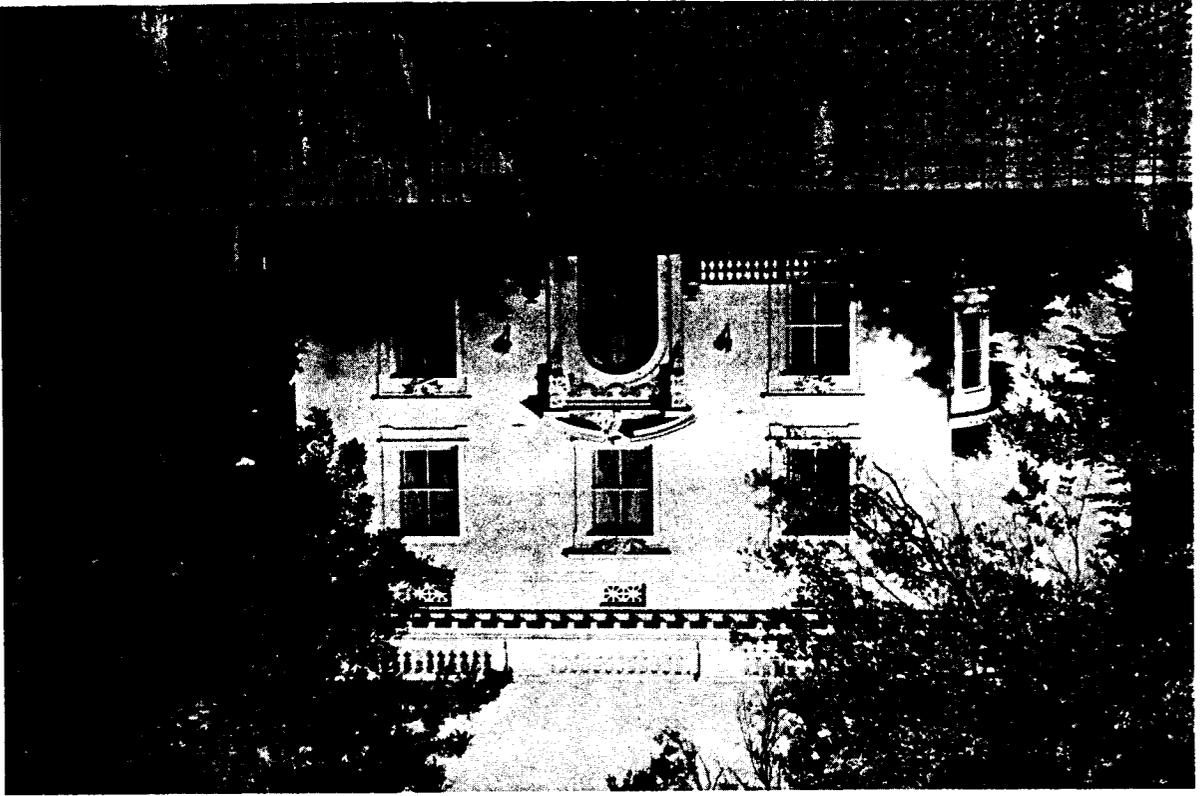
Plant Material Screen - a compact hedge of evergreen or deciduous shrubs, at least 36 inches in height at the time of planting.

The ground area between such wall, fence or hedge and the front lot line shall be planted and maintained in grass, other suitable ground cover, shrubbery and/or grass."

Fences or walls should be of metals (wrought iron, steel, aluminum, or iron), brick, stone, or other materials which are compatible with surrounding buildings. Any metal type fence should either be landscaped in front or sit on a thirty-six inch wall to facilitate screening. Chain-link fencing is not appropriate on street frontages. Fencing along street frontages should conform to these standards regardless of whether or not they provide screening.

The plant material screen should be provided in a strip at least six feet wide. Individual plants should be installed at three feet on center. Trees shall be included in the strip with

24. Marott Hotel, 2625 N. Meridian St.  
National Register, Renaissance Revival, 1926 (W.K. Eldridge, architect; Edgar Spink, builder), Architecture
25. Meridian Street Bridge, Meridian at Fall Creek  
Outstanding, 1915-1917 (George Kessler, landscape architect; Dunn-McCarthy Co., engineers); Architecture, Community Planning, and Transportation
26. Minor House (Indiana State Federation of Colored Women's Clubs), 2034 N. Capitol Ave.  
National Register, Free Classic, 1897; Architecture, Ethnic Heritage, and Social History
27. Nurses' Home Methodist Episcopal Hospital, 1800 N. Capitol Ave.  
Notable, Renaissance Revival, 1927, Architecture and Health/Medicine
28. Old Northside Historic District, Bounded by Interstate 65, 16th St., Bellefontaine St., and Pennsylvania St.  
National Register and Local Historic Area
29. Pandell Florist, 1601-09 N. Capitol Ave.  
Notable, Neoclassical, c. 1930 (Pierre and Wright, architect), Architecture and Commerce



*Louis Levey Mansion*

## IV. Site Design Components

### A.) Trees and Shrubs:

Trees and shrubs should be adequately maintained to ensure proper growth. Dead trees and shrubs should be replaced as soon as possible.

### B.) Parking:

- 1.) **Parking access** - Parking lots should not use alleys that have established residential uses or dwelling districts abutting them for access.

Parking areas should have direct access to a street in such a manner as to minimize interference with traffic movement and shall be so designed and located that vehicles should not back from or into a public right-of-way.

- 2.) **Parking surface** - The ground surface of every parking lot in a non-residential area shall be paved with brick, concrete, asphaltic pavement, or a similar paving that is durable and dust free. The hard surface should have a definite edge to it; metal edging, curbs, sidewalks, walls, planters, etc.
- 3.) **Parking space markings** - Parking spaces should be marked by surface paint or change in materials.
- 4.) **Parking illumination** - Lighting should be provided in parking areas that are used at night. The lighting equipment should be located, shielded, and directed so that the lighting distribution is confined to the area to be lighted.  
Lighting levels for outdoor parking areas should be 2.0 footcandles. Light poles should be at least twenty feet high but not more than thirty feet high.
- 5.) **Wheel stops** - Where a parking lot abuts a public sidewalk or a landscape strip, wheel stops or curbing should be placed two to three feet from the sidewalk or landscape strip to avoid bumper overhangs into the walk or landscape strip. Wheel stops should not be visible from public streets and sidewalks.

### C.) Fences and walls:

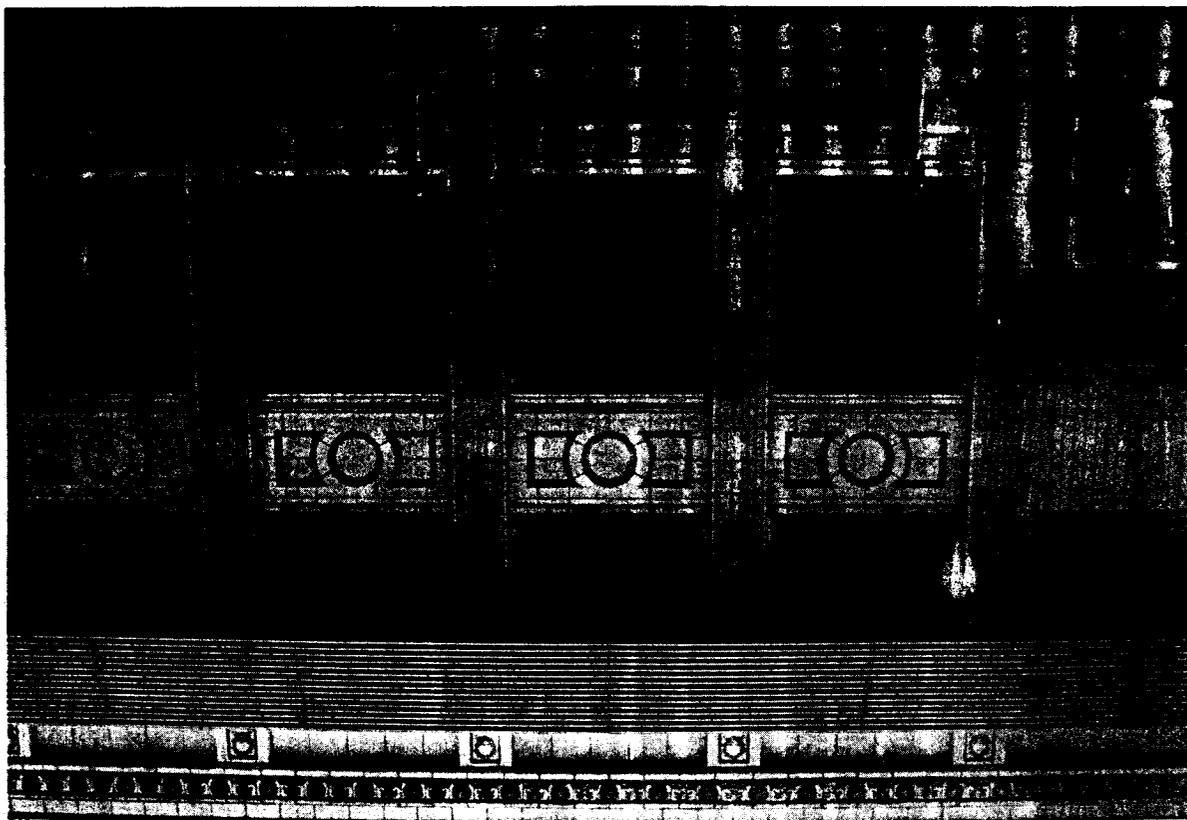
Fences or walls in the area should be of the types described in "Screening and Landscaping" on Page A15.

Except as a temporary use during construction, chain link should be used only sparingly in the area. It should not be permitted on Meridian Street properties that do not contain buildings, in required yards abutting public streets, on the front property line, or be visible from surrounding public streets. It should not be any finish other than vinyl clad or painted. Generally, chain link fences should be forty-two inches or less in height and screened by a solid hedge.

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## INTRODUCTION

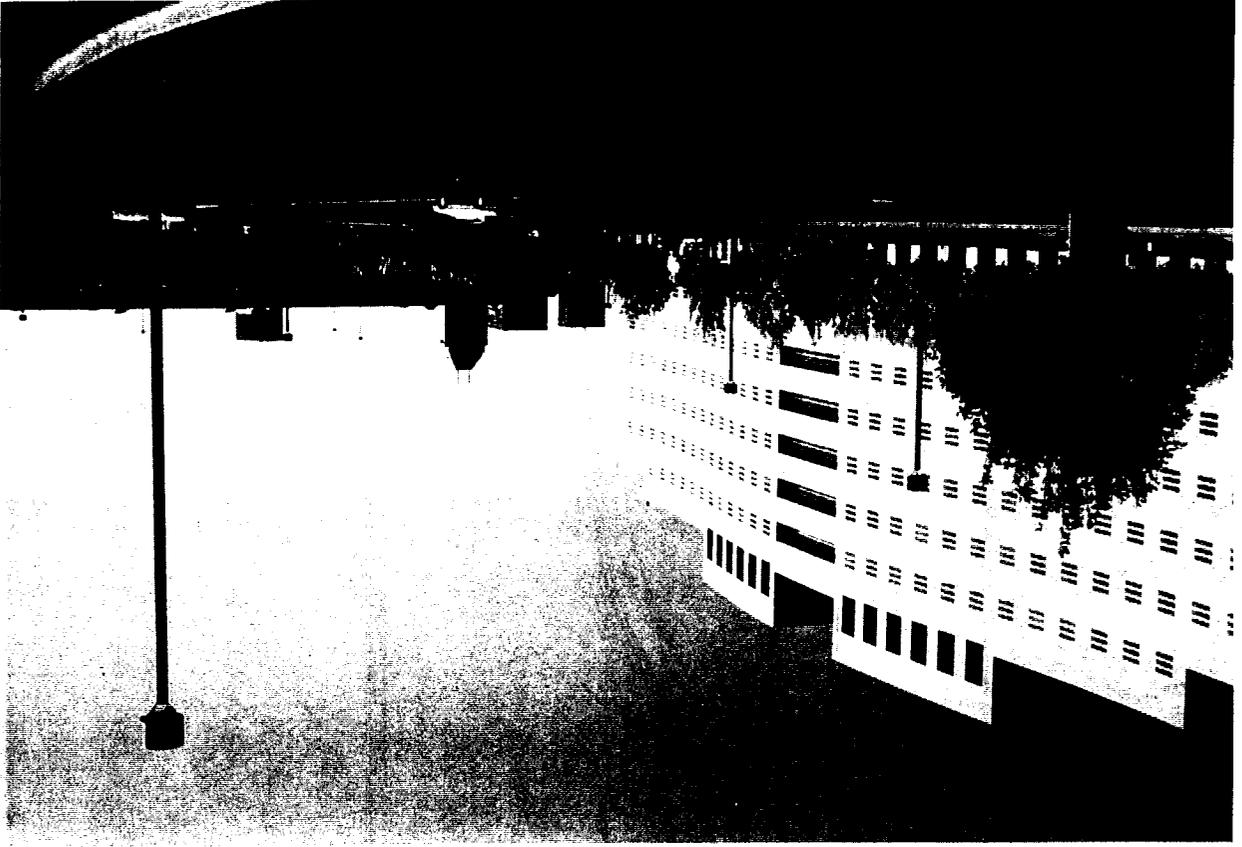
37. SS. Peter and Paul Rectory, 1347 N. Meridian St.  
Outstanding, Neoclassical, 1891-92 (James Renwick, architect; Albert Vonspreckelsen, builder)/1918 (D.A. Bohlen & Son, architect); Architecture and Religion
38. SS. Peter and Paul School, 1350 N. Pennsylvania St.  
Notable, Neoclassical, 1912 (D.A. Bohlen & Son, architect); Architecture, Religion, and Education
39. The Seville, 1701 N. Illinois St.  
National Register, Renaissance Revival, 1921 (George & MaLucas, architect); Architecture
40. H.C.S. Motor Company, 1402 N. Capitol Ave.  
(Demolished, 1992)
- Notable, Neoclassical, 1920-21, Architecture and Transportation
41. The Thorpe Tower, 2041 N. Meridian St.  
Notable, Tudor Revival, c. 1915, Architecture
42. The Vera and The Olga, 1440 and 1446 N. Illinois St.  
National Register, Twentieth Century Functional, 1901, Architecture



**RECOMMENDED STREET TREES**  
TYPICAL SIZE AT TIME OF PLANTING: 2 1/2 INCH CALIPER

Table A1

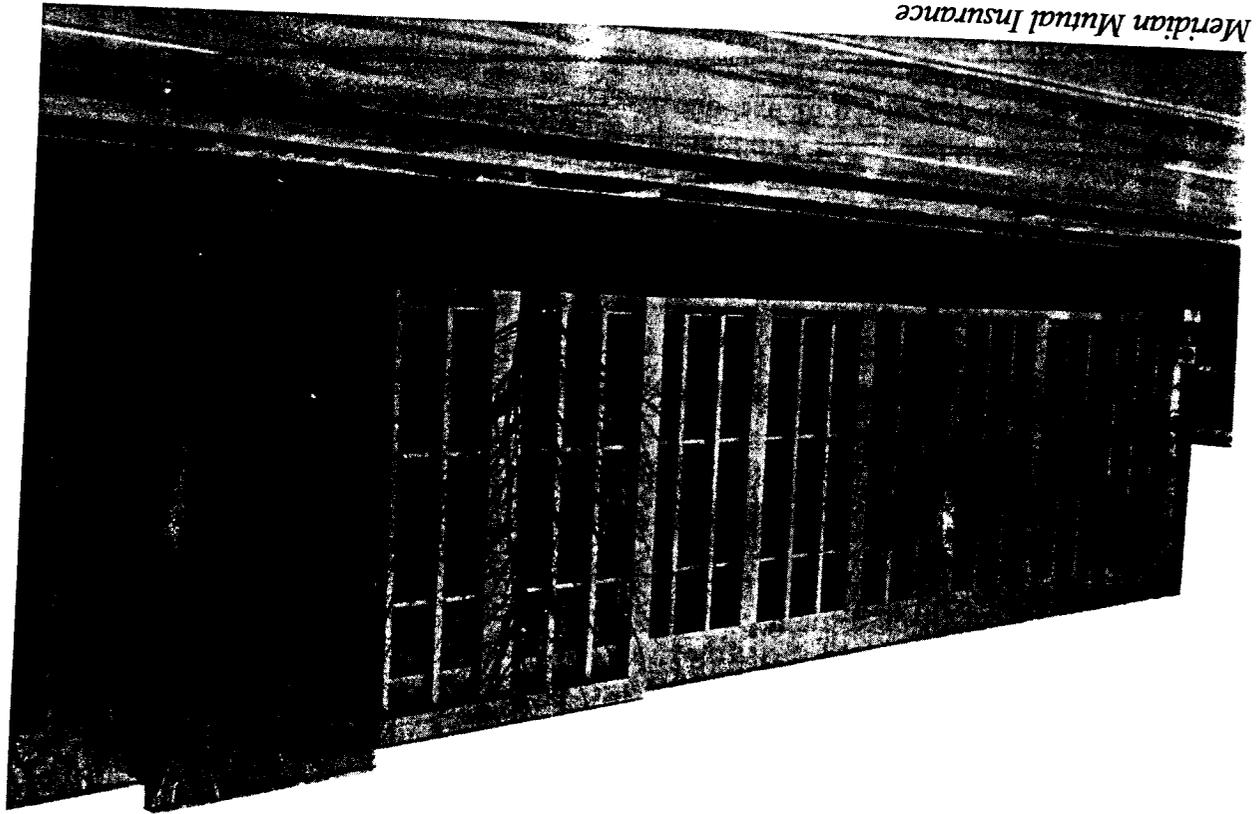
BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)
<i>Acer platanoides</i>	Norway Maple	'Cleveland'	40
		'Emerald Queen'	50
		'Parkway Maple'	40
		'Summershade'	45
		'Superform'	45
<i>Acer rubrum</i>	Red Maple	'Autumn Flame'	35
		'Bowhall Maple'	45
		'Red Sunset'	45
		'Scarlet Sentinel'	40
<i>Carpinus betulus</i>	European Hornbeam	'Fastigiata'	35
<i>Celtis laevigata</i>	Sugar Hackberry	'All Season'	40
<i>Celtis occidentalis</i>	Common Hackberry	'Prairie Pride'	40
<i>Cercidiphyllum japonicum</i>	Katsura-tree		45
<i>Corylus colurna</i>	Turkish Filbert		50
<i>Eucommia ulmoides</i>	Hardy Rubber-tree		50
<i>Fraxinus americana</i>	White Ash	'Autumn Applause'	40
		'Autumn Purple'	45
		'Champaign County'	45
		'Rosehill'	50
		'Skyline'	45
<i>Fraxinus pennsylvanica</i>	Green Ash	'Marshall Seedless'	50
		'Newport'	55
		'Patmore'	45
		'Summit'	45
		'Urbanite'	50



**RECOMMENDED ORNAMENTAL TREES**  
**SUGGESTED USE NEAR OVERHEAD WIRES**  
**TYPICAL SIZE AT TIME OF PLANTING: 1 1/2 INCH CALIPER**  
**Table A2**

BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)	SPREAD (FEET)
<i>Acer campestre</i>	Hedge Maple	'Queen Elizabeth'	35	30
<i>Acer ginnala</i>	Amur Maple	'Flame'	20	20
<i>Crataegus crusgalli inermis</i>	Thornless Cockspur Hawthorn	'Crusader'	15	15
<i>Crataegus crusgalli x phaenopyrum</i>	Vaughn Hawthorn	'Vaughn'	30	30
<i>Crataegus phaenopyrum</i>	Washington Hawthorn		30	25
<i>Crataegus viridis</i>	Green Hawthorn	'Winter King'	20	25
<i>Koelreuteria paniculata</i>	Golden Raintree		35	30
<i>Malus species</i>	Flowering Crabapple	'Adams'	20	20
		'American Beauty'	20	15
		'Centurion'	25	20
		'David'	12	12
		'Donald Wyman'	20	20
		'Harvest Gold'	20	15
		'Indian Summer'	18	18
		'Madonna'	18	10
		'Ormiston Roy'	20	25
		'Prairifire'	20	15
		'Robinson'	25	25
		'Sentinel'	18	12
		'Sugar Tyme'	18	15
<i>Syringa reticulata</i>	Tree Lilac	'Ivory Silk'	25	15
		'Summer Snow'	20	15

- 2.) Residential: Residential comprises about thirty percent of the land area in the corridor. There are three general categories of residential:
- a.) Low Density Residential (5 or less dwelling units per acre, principally single-family houses on relatively larger lots) - These are found principally in Highland Vicinity and Meridian-Highland and along Pennsylvania Street.
  - b.) Medium Density Residential (6-15 dwelling units per acre, including single-family houses on smaller lots, duplexes, and certain low-rise multi-family apartment complexes with generous open areas) - These are found primarily in Meridian-Highland and Highland Vicinity and scattered along Pennsylvania.
  - c.) High Density Residential (16 or more dwelling units per acre, characteristically apartment development from low-rise to high-rise) - Apartments are located throughout the Corridor with the largest concentration along Pennsylvania Street around and south of 16th Street. Kenwood Place in the 2300 and 2400 blocks of



*Meridian Mutual Insurance*

**EXISTING CONDITIONS**

**RECOMMENDED LOW SHRUBS**  
TYPICAL SIZE AT TIME OF PLANTING: 18 TO 24 INCHES HIGH

Table A5

BOTANICAL NAME	COMMON NAME	BEST CULTIVARS	HEIGHT (FEET)	SPREAD (FEET)
<i>Berberis thunbergii</i> var <i>atropurpurea</i>	Crimson Pygmy Barberry	'Nana'	2	2 - 3
<i>Berberis thunbergii</i>	Kobold Barberry	'Kobold'	1 - 2	2 - 3
<i>Juniperus chinensis</i>	Kallays Juniper	'Kallays Compacta'	2 - 3	6
<i>Juniperus chinensis pfitzeriana</i>	Nick's Compact Juniper	'Nick's Compacta'	1 - 2	4 - 6
	San Jose Juniper	'San Jose'	1 - 2	6 - 8
<i>J. ch. pfitzeriana</i> var. <i>sargentii</i>	Green Sargent Juniper	'Viridis'	1 - 2	7 - 9
<i>Juniperus horizontalis plumosa</i>	Compact Andorra Juniper	'Compacta'	2	4 - 6
	Youngstown Juniper	'Youngstown'	1 - 2	5 - 6
<i>Juniperus sabina</i>	Broadmoor Juniper	'Broadmoor'	2 - 3	8 - 10
	Buffalo Juniper	'Buffalo'	1 - 2	6 - 8
	Tam's Juniper	'Tamariscifolia'	1 - 2	8 - 10
<i>Ribes alpinum</i>	Alpine Current	'Green Mound'	2 - 3	2 - 3
<i>Spiraea x bumalda</i>	Anthony Waterer Spirea	'Anthony Waterer'	2 - 4	3 - 5
<i>Taxus x media</i>	Everlow Yew	'Everlow'	1 - 2	4 - 5

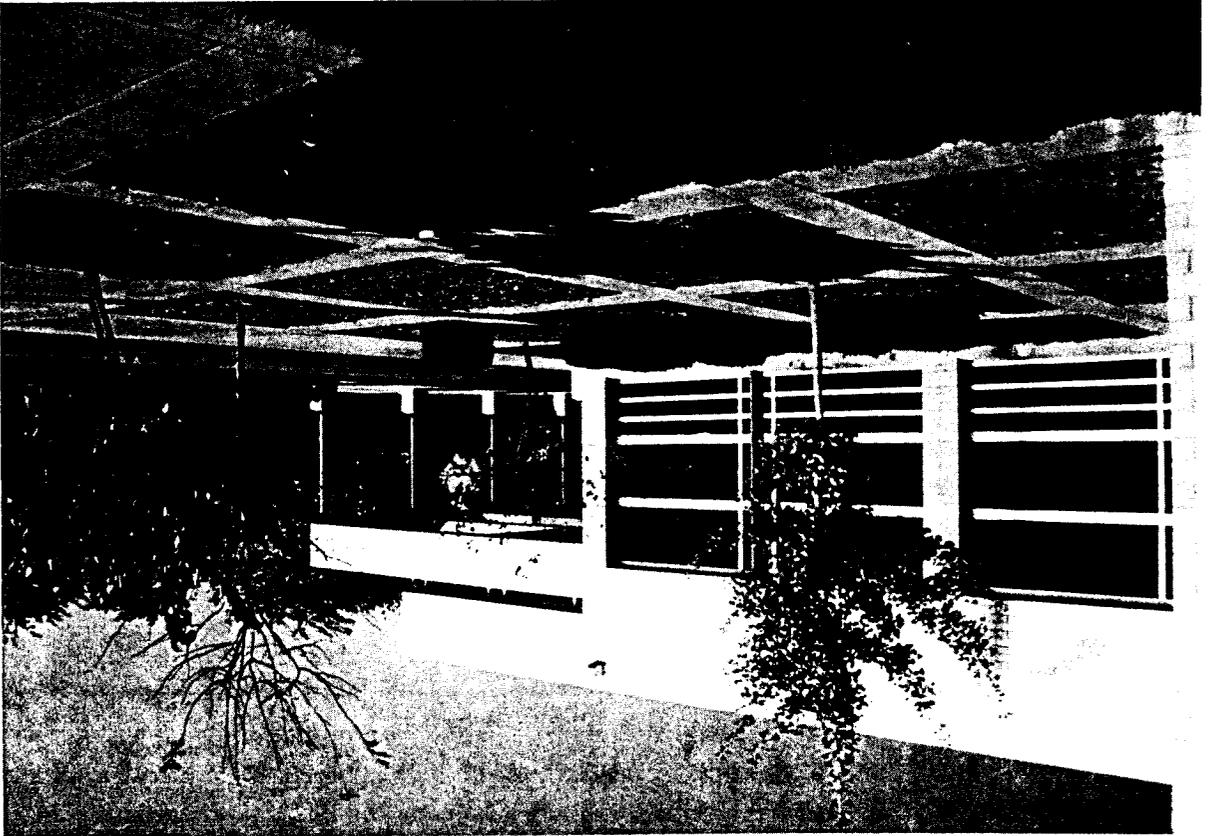
- Fire Station 5, 16th and Capitol
- Fire Station 14, 30th and Kenwood
- Faith Church of God in Christ, 349 30th
- Fall Creek Parkway Church of Christ, 380 W. Fall Creek
- New Liberty Missionary Baptist Church, 130 W. 29th
- Original Church of God, 2150 Capitol
- Our Savior Lutheran Church, 261 W. 25th

include:

A number also are important in the general area of Near North/Fall Creek and 16th and 22nd Streets. Other such uses also have located in the general area because of its central location in the metropolitan area.

Methodist Hospital also has a number of health and medical clinics and offices that it is associated with or relate to it. These are found along Capitol and Illinois between

*Ruth Lilly Center for Health Education*



**EXISTING CONDITIONS**

NEAR NORTH/FALL CREEK  
 1970, 1980, AND 1990 CENSUS  
 POPULATION AND HOUSING CHANGE  
 Table B1

	Near North/ Fall Creek	Marion County
<b>TOTAL PERSONS</b>		
1970	8,640	793,769
1980	6,038	765,233
1990	5,078	797,159
Change 1970 - 1980	-2,602	-28,536
Change 1980 - 1990	-960	31,926
Change 1970 - 1990	-3,562	3,390
Percent Change 1970 - 1980	-30.1%	-3.6%
Percent Change 1980 - 1990	-15.9%	4.2%
Percent Change 1970 - 1990	-41.2%	0.4%
<b>TOTAL HOUSING UNITS</b>		
1970	4,642	268,969
1980	3,796	309,557
1990	3,273	349,403
Change 1970 - 1980	-846	40,588
Change 1980 - 1990	-523	39,846
Change 1970 - 1990	-1,369	80,434
Percent Change 1970 - 1980	-18.2%	15.1%
Percent Change 1980 - 1990	-13.8%	12.9%
Percent Change 1970 - 1990	-29.5%	29.9%

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**EXISTING CONDITIONS**

- 5.) Industrial and Commercial-Industrial Uses - These uses make up about twelve percent of the corridor's area. Most industrial type uses can be classified as light industrial or commercial-industrial, uses that do involve production or assembly work and generate some heavier truck traffic but generally do not create the hardships for adjacent properties that are observed from heavy industrial activity. There are two heavy industrial uses in the area at 14th and Senate.
- The principal area of industrial activity is south of 15th Street and west of Illinois. It is a traditional locale for industrial based both on its adjacency to downtown and the rail line that formerly ran through this portion of the area. It is a part of the Near North Industrial Park. There are a few additional industrial establishments in the 1900 block of Illinois as well as commercial-industrial uses along Illinois between 19th and Fall Creek.
- 6.) Parking - Most parking is at surface lots. Parking lots for Meridian Street establishments also are found along much of Illinois and Pennsylvania Streets. There are major parking structures for Methodist Hospital; a few Meridian Street office buildings also have parking garages.
- 7.) Vacant - Vacant buildings and lots comprise about ten percent of the corridor's land area. They are scattered throughout the area, but the greatest concentrations are in the 2100 blocks of Capitol and Illinois, Pennsylvania between 18th and Fall Creek, the 2600 to 2800 blocks of Illinois, and the block bounded by Fall Creek, 23rd, and Interstate 65.

**NEAR NORTH/FALL CREEK  
1990 CENSUS - GENERAL DEMOGRAPHICS  
MARITAL STATUS**

Table B3

MARITAL STATUS BY SEX (Persons 15 years and over)	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
<b>MALE</b>						
Never married	892	694	1,429	3,015	290,049	
Married, not separated	414	348	792	1,554	88,850	
Separated	211	136	243	590	157,060	
Widowed	60	49	78	187	5,479	
Divorced	58	34	81	173	7,240	
	149	127	235	511	31,420	
Percent never married	46.4%	50.1%	55.4%	51.5%	30.7%	
Percent married, not separated	23.7%	19.6%	17.0%	19.6%	54.1%	
Percent separated	6.7%	7.1%	5.5%	6.2%	1.9%	
Percent widowed	6.5%	4.9%	5.7%	5.7%	2.5%	
Percent divorced	16.7%	18.3%	16.4%	17.0%	10.8%	
<b>FEMALE</b>						
Never married	1,276	772	1,465	3,513	334,169	
Married, not separated	498	317	614	1,429	84,540	
Separated	205	136	226	567	156,722	
Widowed	67	61	66	194	8,009	
Divorced	275	146	344	765	38,855	
	231	112	215	558	46,043	
Percent never married	39.0%	41.1%	41.9%	40.7%	25.3%	
Percent married, not separated	16.1%	17.6%	15.4%	16.1%	46.9%	
Percent separated	5.2%	7.9%	4.5%	5.5%	2.4%	
Percent widowed	21.6%	18.9%	23.5%	21.8%	11.6%	
Percent divorced	18.1%	14.5%	14.7%	15.9%	13.8%	

**EXISTING ZONING**

Similar to its existing land use, the corridor's zoning is fairly equally mixed in the zoning classifications that it is under. There are eighteen primary existing zoning classifications in the Corridor:

**Dwelling Districts:**

- D5, Dwelling District Five: Permits single-family on minimum 5,000 sq. ft. lot, duplexes permitted on minimum 9,000 sq. ft. corner lot.
- D7, Dwelling District Seven: Permits medium-density multi-family associated with primary traffic generators.
- D8, Dwelling District Eight: Permits single-family, duplexes and low-rise multi-family housing.
- D9, Dwelling District Nine: Permits low-rise to high-rise multi-family housing.
- D10, Dwelling District Ten: Permits the highest density multi-family housing.

**Commercial Districts:**

- C1, Office Buffer District: Permits offices.
- C2, Office/Apartment District: Permits offices and multi-family housing.
- C3, Neighborhood Commercial District: Permits a range of indoor retail and service uses for a neighborhood.
- C4, Community-Regional Commercial District: Permits major business groupings, community, and regional shopping centers.
- C5, General Commercial District: Permits commercial uses with outdoor operations which should be grouped on heavy commercial thoroughfares.
- C6, Commercial Special District: Permits a combination of uses, commercial and non-commercial, in a planned complex.

**Other Districts:**

- SU9, Special Use One: Permits government buildings and grounds.
- SU35, Special Use Thirty-Five: Permits telecommunication receiving and broadcasting towers and associated accessory buildings.
- SU37, Special Use Thirty-Seven: Permits libraries.
- HD1, Hospital District One: Permits and facilitates the development, expansion, and modernization of a hospital complex.
- HD2, Hospital District Two: Permits and facilitates the association of uses in close proximity to a hospital.
- PK1, Park District One: Permits public park land.
- I3U, Medium Industrial Urban District: Permits intermediate industrial uses, located away from residential areas and buffered by lighter industrial districts.

**NEAR NORTH/FALL CREEK  
1990 CENSUS - GENERAL DEMOGRAPHICS  
TYPES OF HOUSEHOLDS**

Table B5

	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
<b>TYPES OF HOUSEHOLDS</b>						
<b>TOTAL HOUSEHOLDS</b>	1,274	834	1,788	3,896		319,471
One person households	637	406	1,227	2,270		93,696
Percent one person households	50.0%	48.7%	68.6%	58.3%		29.3%
Male householder	255	212	726	1,193		38,379
Female householder	382	194	501	1,077		55,317
Other nonfamily households	66	63	205	334		20,123
Male householder	38	42	113	193		11,883
Female householder	28	21	92	141		8,240
Family households	571	365	356	1,292		205,652
Percent family households	44.8%	43.8%	19.9%	33.2%		64.4%
Married-couple family	184	123	177	484		150,965
M /no wife present	50	28	21	99		10,455
F /no husband present	337	214	158	709		44,232
Percent F /no husband present	59.0%	58.6%	44.4%	54.9%		21.5%
With 1 + person under 18	337	248	200	785		109,994
Married-couple family	73	60	59	192		72,026
Other family	255	185	134	574		36,317
Nonfamily	9	3	7	19		1,651
With 1 + person 65 years & over	419	235	258	912		67,210
Family households	123	80	31	234		36,283
One person households	281	143	212	636		29,430
Other nonfamily households	15	12	15	42		1,497
With 1 + nonrelatives present	133	137	232	502		31,735
<b>BY RACE OF HOUSEHOLDER</b>						
White	199	131	949	1,279		254,223
Black	1,063	698	811	2,572		61,288
Other	12	5	28	45		3,960
<b>PERSONS PER HOUSEHOLD</b>	2.20	2.38	1.47			2.45
<b>PERSONS PER FAMILY</b>	3.39	3.61	2.60			3.06
<b>PERSONS IN GROUP QUARTERS</b>						
Institutionalized	40	18	541	599		9,725
Other	0	0	6	6		4,604

## EXISTING CONDITIONS

The North Meridian Street Corridor generally between the alley west of Illinois Street and the alley east of Pennsylvania Street has additional zoning protection provided through the Regional Center Secondary District (City-County General Ordinance No. 13, MDC Docket Number: 82-AO-3) which overlays the primary zoning districts. This protection prohibits certain inappropriate uses in that area (e.g., Class 1 Regulated Uses including amusement arcades, massage parlors, and adult bookstores; pawnshops, loan shops, and variety shops; gas stations on Meridian Street frontage lots; and indoor commercial amusement facilities on Meridian Street frontage lots except as part of an integrated center) and sets forth development standards in addition to those typical of the primary districts.

These additional standards restrict the use of required front yards (no parking permitted), landscaping (e.g., chain link fence not permitted in required front yards), and signs (pole and ground signs not to exceed 36 square feet per sign face; projecting signs not to exceed 18 square feet).

The portions of the corridor within Herron-Morton and the Old Northside local historic areas also are under additional protection very similar to that provided by a special zoning ordinance secondary district. Any proposed construction or alterations to properties in these two districts must first receive approval of the Indianapolis Historic Preservation Commission.

The MDC has made the area within the Near North Industrial Park subject to special review as a renewal district.



*Meridian Street south of Fall Creek*

NEAR NORTH/FALL CREEK  
 1990 CENSUS - CHARACTERISTICS OF HOUSING UNITS  
 UNITS IN STRUCTURE AND HOUSING ROOMS PER UNIT  
 Table B7

	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
TOTAL HOUSING UNITS	1,490	1,197	2,264	4,951	349,403	
UNITS IN STRUCTURE						
1 unit, detached	434	246	149	829	193,252	
1 unit, attached	238	116	73	427	26,219	
Mobile home or trailer	0	0	0	0	7,160	
2 units	84	153	41	278	9,318	
3-9 units	123	315	321	759	53,470	
10 or more units	579	304	1,669	2,552	56,966	
Other	32	63	11	106	3,018	
Percent 1 unit, detached	29.1%	20.6%	6.6%	16.8%	55.3%	
Percent 1 unit, attached	16.0%	9.7%	3.2%	8.6%	7.5%	
Percent mobile home or trailer	0.0%	0.0%	0.0%	0.0%	2.0%	
Percent 2 units	5.6%	12.8%	1.8%	5.6%	2.7%	
Percent 3-9 units	8.3%	26.3%	14.2%	15.3%	15.3%	
Percent 10 or more units	38.9%	25.4%	73.7%	51.6%	16.3%	
Percent other	2.1%	5.2%	0.5%	2.1%	0.9%	
HOUSING ROOMS PER UNIT						
1 room/unit	30	57	326	413	4,721	
2 rooms/unit	89	92	537	718	10,855	
3-4 rooms/unit	658	455	1,049	2,162	104,101	
5-6 rooms/unit	519	349	197	1,065	155,567	
7-8 rooms/unit	157	119	67	343	55,877	
9+ rooms/unit	37	125	88	250	18,282	
Percent 1 room/unit	2.0%	4.8%	14.4%	8.3%	1.4%	
Percent 2 rooms/unit	6.0%	7.7%	23.7%	14.5%	3.1%	
Percent 3-4 rooms/unit	44.2%	38.0%	46.3%	43.7%	29.8%	
Percent 5-6 rooms/unit	34.8%	29.2%	8.7%	21.5%	44.5%	
Percent 7-8 rooms/unit	10.5%	9.9%	3.0%	6.9%	16.0%	
Percent 9+ rooms/unit	2.5%	10.4%	3.9%	5.1%	5.2%	

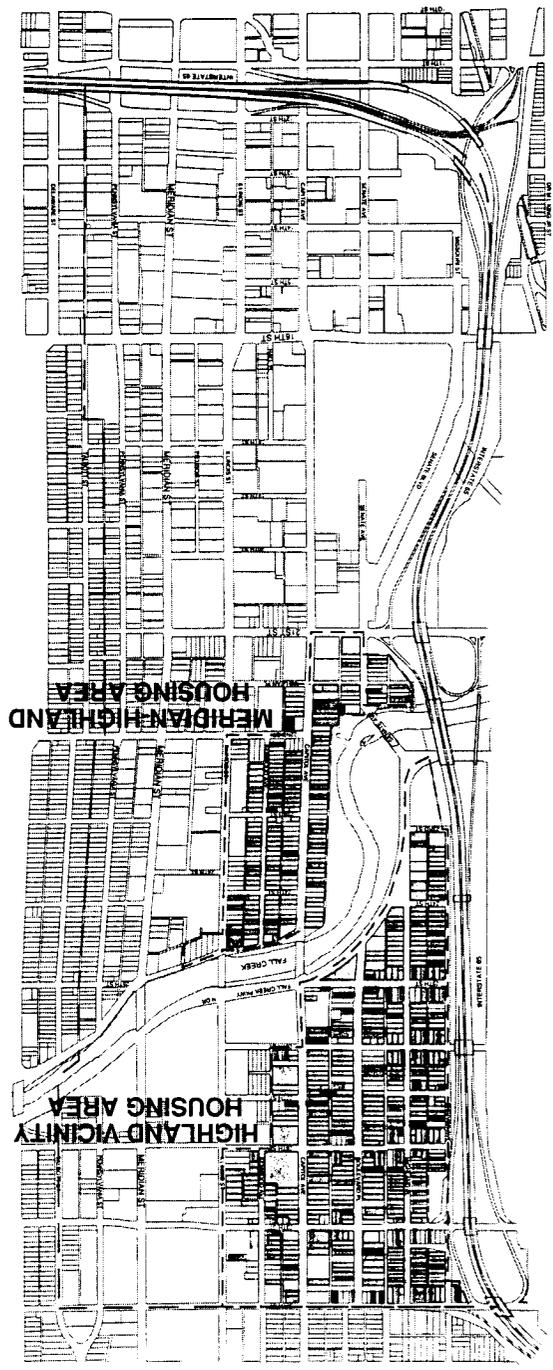
NEAR NORTH/FALL CREEK

6

INDIANAPOLIS-MARION COUNTY, INDIANA  
DEPARTMENT OF METROPOLITAN DEVELOPMENT  
PLANNING DIVISION  
OCTOBER 20, 1983  
NEAR NORTH DEVELOPMENT CORPORATION

**BUILDING CONDITIONS**

- EXCELLENT CONDITION
- NEEDS SUPERFICIAL REPAIRS
- NEEDS MINOR REHABILITATION
- NEEDS MAJOR REHABILITATION
- DILAPIDATED



EXISTING CONDITIONS

NEAR NORTH/FALL CREEK  
 1990 CENSUS - CHARACTERISTICS OF HOUSING UNITS  
 OCCUPIED HOUSING UNITS BY RACE AND AGE OF HOUSEHOLDER  
 Table B9

	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
<b>BY RACE OF HOUSEHOLDER</b>						
Owner occupied units						
White	294	187	157	638	182,039	
Black	9	40	124	173	154,279	
Other	284	145	30	459	25,932	
Renter occupied units						
White	1	2	3	6	1,828	
Black	980	647	1,631	3,258	137,432	
Other	190	91	825	1,106	99,944	
	779	553	781	2,113	35,356	
	11	3	25	39	2,132	
<b>BY AGE OF HOUSEHOLDER</b>						
Owner occupied						
15 - 24 years	5	4	0	9	2,745	
25 - 34 years	32	17	40	89	33,591	
35 - 44 years	41	32	52	125	41,720	
45 - 54 years	36	30	23	89	31,132	
55 - 64 years	59	32	18	109	30,521	
65 - 74 years	51	32	11	94	26,658	
75 years +	70	40	13	123	15,672	
Renter occupied						
15 - 24 years	64	77	323	464	19,266	
25 - 34 years	245	142	519	906	49,819	
35 - 44 years	158	137	275	570	26,018	
45 - 54 years	119	75	156	350	13,288	
55 - 64 years	118	69	130	317	9,927	
65 - 74 years	134	91	115	340	9,318	
75 years +	142	56	113	311	9,796	

**EXISTING CONDITIONS**

595 primary residential structures were evaluated in the Highland Vicinity and Meridian-Highland housing areas. Map 6 shows building conditions of individual properties. Map 7 aggregates building conditions and land use patterns to show overall area conditions. Building conditions also are presented in the following table.

For both neighborhoods combined, 9.6 percent of structures are in excellent condition, and 51.9 percent are rated as needing only superficial repairs. 38.3 percent need to be rehabilitated. One building is dilapidated.

**RESIDENTIAL BUILDING CONDITIONS  
and  
HIGHLAND VICINITY  
and  
MERIDIAN-HIGHLAND  
Table 1**

	Single-Family Number Percent	Duplex Number Percent	Multi-Family Number Percent	Total Number Percent
Excellent	39	10	8	57
Superficial Repair	220	70	19	309
Minor Rehabilitation	121	66	9	196
Major Rehabilitation	15	14	3	32
Dilapidated	1	0	0	1
	9.8%	6.2%	20.5%	9.6%
	55.5%	43.8%	48.7%	51.9%
	30.6%	41.2%	23.1%	32.9%
	3.8%	8.8%	7.7%	5.4%
	0.3%	0.0%	0.0%	0.2%
	396	160	39	595

**NEAR NORTH/FALL CREEK  
1990 CENSUS - INCOME CHARACTERISTICS  
1989 INCOME OF PERSONS, HOUSEHOLDS, AND FAMILIES\*  
Table B11**

	Area Census Tracts			Tract Totals	Marion County	Near North/ Fall Creek
	3515	3516	3533			
<b>1989 PER CAPITA INCOME</b>						
<b>ALL PERSONS</b>	\$8,163	\$6,884	\$11,044		\$14,614	
White	\$26,250	\$11,706	\$14,009		\$16,128	
Black	\$6,147	\$6,050	\$7,814		\$9,196	
<b>HOUSEHOLDS WITH 1989 INCOME OF:</b>						
Less than \$9,999	604	398	794	1,796	45,064	
\$10,000 - 14,999	113	189	203	505	28,872	
\$15,000 - 24,999	217	106	494	817	61,550	
\$25,000 - 34,999	168	77	191	436	54,820	
\$35,000 - 49,999	104	37	129	270	60,571	
\$50,000 - 74,999	48	57	40	145	46,130	
\$75,000 - 99,999	12	7	44	63	12,798	
\$100,000 or more	8	0	8	16	10,016	
Median Household Income	\$11,071	\$10,750	\$14,028		\$29,152	
Average Household Income	\$18,214	\$15,789	\$17,676		\$36,135	
<b>FAMILIES WITH 1989 INCOME OF:</b>						
Less than \$9,999	219	137	98	454	18,226	
\$10,000 - 14,999	67	67	16	150	14,005	
\$15,000 - 24,999	90	77	144	311	35,174	
\$25,000 - 34,999	96	31	17	144	36,324	
\$35,000 - 49,999	61	26	57	144	45,221	
\$50,000 - 74,999	37	35	14	86	38,952	
\$75,000 - 99,999	5	7	44	56	11,213	
\$100,000 or more	0	0	0	0	8,740	
Median Family Income	\$15,469	\$13,750	\$22,577		\$35,054	
Average Family Income	\$20,042	\$20,779	\$28,842		\$42,121	

\*Numbers in this table are estimates based on sample, not complete, counts of census data and may differ from the data of other tables of this report which contain the complete census counts.

**NEAR NORTH/FALL CREEK  
1970, 1980, AND 1990 CENSUS  
POPULATION AND HOUSING CHANGE**

Table 2

Marion      Near North/  
County      Fall Creek

TOTAL PERSONS	
1970	8,640
1980	6,038
1990	5,078
Change 1970 - 1980	-2,602
Change 1980 - 1990	-960
Change 1970 - 1990	-3,562
Percent Change 1970 - 1980	-30.1%
Percent Change 1980 - 1990	-15.9%
Percent Change 1970 - 1990	-41.2%
TOTAL HOUSING UNITS	
1970	4,642
1980	3,796
1990	3,273
Change 1970 - 1980	-846
Change 1980 - 1990	-523
Change 1970 - 1990	-1,369
Percent Change 1970 - 1980	-18.2%
Percent Change 1980 - 1990	-13.8%
Percent Change 1970 - 1990	-29.5%
1970	268,969
1980	309,557
1990	349,403
Change 1970 - 1980	40,588
Change 1980 - 1990	39,846
Change 1970 - 1990	80,434
Percent Change 1970 - 1980	15.1%
Percent Change 1980 - 1990	12.9%
Percent Change 1970 - 1990	29.9%

# SURVEY OF AREA EMPLOYERS

NEAR NORTH/FALL CREEK STUDY  
Indianapolis Planning Division

OCTOBER 1992  
Near North Development Corporation

## SURVEY OF AREA EMPLOYERS

Information gathered in this survey will be reported in aggregate form only. Individual responses will be treated as confidential. When you have filled in your answers, please fold and staple this questionnaire so that the return address and the postage on the back page shows on the outside and drop it in the mail by **October 30**. Thank you.

1. Name of Corporation or Business 52 RESPONSES
2. Street Address \_\_\_\_\_
3. Telephone Number \_\_\_\_\_
4. Representative Completing Form \_\_\_\_\_  
Title \_\_\_\_\_
5. Please describe your organization and operation (manufacturing, service, distribution, sales, or office). Include primary activity, any products, etc.  
\_\_\_\_\_  
\_\_\_\_\_
6. A. When moved to present site 1967  
B. When first located in Indianapolis 1940
7. A. Own building/facility 80.8% Lease building/facility 19.2%  
B. Sole building/facility occupant 71.4% More than one occupant in building/facility 28.6%
8. Are you locally owned and operated? Yes 92.3% No 7.7% (Headquartered in \_\_\_\_\_)
9. Market area served by this facility is: (Check all that apply)  
Neighborhood 21 Indianapolis 36 Central Indiana 23 Indiana 24  
Midwest 11 United States 13 International 7
10. How many employees do you have at this site? 65 (not including Methodist) (Average hourly wage \$9.20)
11. How has the number of employees at this site changed over the last five years?  
Increased 40.4% Decreased 23.1% Remained the same 36.5%
12. How will the number of employees at this site change over the next five years?  
Increase 50.0% Decrease 9.6% Remain the same 40.4%
13. A. How many shifts do you have at this site? 17% with three shifts  
B. Number of employees in largest shift? 2,946 + 4,087 at Methodist  
C. Time of day largest shift starts work? 62% start at 8 or 8:30 am, Methodist at 7 am

\* Income numbers in this table are estimates based on sample, not complete, counts of census data and may differ from other data of this report which contain the complete census counts.

		Area Census Tracts			
		3515	3516	3533	Totals
		Marion	County	Fall Creek	Near North/
		Tract	County	Fall Creek	Near North/
TOTAL PERSONS		2,845	2,005	3,174	8,024
Male		1,238	977	1,547	3,762
Female		1,607	1,028	1,627	4,262
RACE					
White		280	263	1,587	2,130
Black		2,548	1,727	1,533	5,808
Other		17	15	54	86
MEDIAN AGE		32.0	29.5	35.0	33.0
TOTAL PERSONS IN HOUSEHOLDS		2,805	1,987	2,627	7,419
In family households		2,011	1,424	955	4,390
In nonfamily households		794	563	1,672	3,029
PERSONS PER HOUSEHOLD		2.20	2.38	1.47	2.45
PERSONS PER FAMILY		3.39	3.61	2.60	3.06
PERSONS IN GROUP QUARTERS		40	18	541	599
Institutionalized		0	0	6	6
Other		40	18	541	599
TOTAL HOUSEHOLDS		1,274	834	1,788	3,896
One person households		637	406	1,227	2,270
Other nonfamily households		66	63	205	334
Family households		571	365	356	1,292
1989 PER CAPITA INCOME		\$8,163	\$6,884	\$11,044	\$14,614
ALL PERSONS		\$26,250	\$11,706	\$14,009	\$16,128
White		\$6,147	\$6,050	\$7,814	\$9,196
Black		\$11,071	\$10,750	\$14,028	\$29,152
HOUSEHOLDS WITH 1989 INCOME OF:					
Median Household Income		\$18,214	\$15,789	\$17,676	\$36,135
Average Household Income		\$15,469	\$13,750	\$22,577	\$35,054
FAMILIES WITH 1989 INCOME OF:					
Median Family Income		\$20,042	\$20,779	\$28,842	\$42,121
Average Family Income		\$15,469	\$13,750	\$22,577	\$35,054

**Table 3**  
**NEAR NORTH/FALL CREEK**  
**1990 CENSUS - GENERAL DEMOGRAPHICS**  
**PERSONS AND HOUSEHOLDS\***

EXISTING CONDITIONS

APPENDIX C: SURVEY OF AREA EMPLOYERS

	(RANK)	(NUMBER OF POSITIVE RESPONSES)
23. I would like to see regulations and/or services which would: (Select top four)		
A. Protect property from theft and vandalism .....	1	42
B. Improve personal safety .....	2	36
C. Clean streets more frequently .....	7	9
D. Maintain existing parks and open space.....	6	14
E. Reduce property taxes.....	3	28
F. Encourage improved landscaping of parking lots.....	8	8
G. Reduce advertising signs in area .....	9	7
H. Inform the public about area services and programs .....	5	15
I. Require high quality standards for new development .....	4	26
J. Other: <b>Increase economic development</b> .....		
24. My operation could be described as: (Check all that apply)		
A. Research or Technology related .....	13	3
B. Medical or Health related .....	12	4
C. Education related .....	2	12
D. Social Service, Religious or Philanthropic .....	10	5
E. Radio, Television, Public Relations or Publishing related .....	5	8
F. Business Services .....	1	16
G. Personal Services.....	6	6
H. Food Services .....	6	6
I. Retail .....	6	6
J. Manufacturing or Processing .....	2	12
K. Warehouse, Storage or Distribution .....	6	6
L. Construction.....	6	6
M. Finance, Insurance or Real Estate .....	10	5
N. Other: <b>Apartment building</b> .....	2	12
	14	1
25. I would like to see new development in the area which would: (Check all that apply)		
A. Provide more restaurants, shops, etc .....	2	31
B. Bring in operations similar to my own.....	10	2
C. Primarily be office type operations .....	1	34
D. Primarily be industrial operations .....	9	3
E. Primarily be health related .....	5	13
F. Primarily be social service related .....	6	11
G. Primarily be media related .....	6	11
H. Primarily be service type operations .....	3	19
I. Primarily be suppliers.....	8	6
J. Primarily be research and technology .....	4	14
K. Other: <b>General retail/supermarket, housing, hotel, day care, fitness facilities</b> .....		
26. Please indicate if the following statements reflect your view of the Near North/Fall Creek area.		
A. There have been major improvements in the area in the past ten years, and there is very little need to focus improvements on the area. It is taking care of itself .....	Yes <b>12.2%</b>	No <b>87.8%</b>
B. There have been some improvements in the past ten years, but there is still a need to find ways to encourage development and improve conditions.....	Yes <b>98.1%</b>	No <b>1.9%</b>
C. There have been as many losses as gains in the past ten years, and major initiatives are needed to improve the area .....	Yes <b>54.3%</b>	No <b>45.7%</b>

	3515	3516	3533	Marion County
Out-of-Wedlock Births	22.50	17.96	12.92	7.14
Births less than 2500 grams	3.51	2.00	2.52	1.50
Out-of-Wedlock and less than 2500 grams	3.51	2.00	2.21	0.77
Infant Deaths	0.70	1.50	--	0.19
Resident Deaths	18.63	13.97	23.94	8.49

**Table 5**  
**NEAR NORTH/FALL CREEK AREA**  
**1991 BIRTHS AND DEATHS PER 1,000 RESIDENTS**

The following tables on health data for Census Tracts 3515, 3516, and 3533 indicate residents to be in poorer health than the Marion County average for a wide variety of conditions and illnesses. Many of these relate to the higher percentage of elderly in the area (and the illnesses, such as arteriosclerosis, that they are more likely to suffer from) and the higher percentage of African-Americans in the area (and the higher rates of illnesses and conditions, such as heart disease, hypertension, homicide, and infant deaths that they experience in disproportionate numbers).

**HEALTH**

**EXISTING CONDITIONS**